

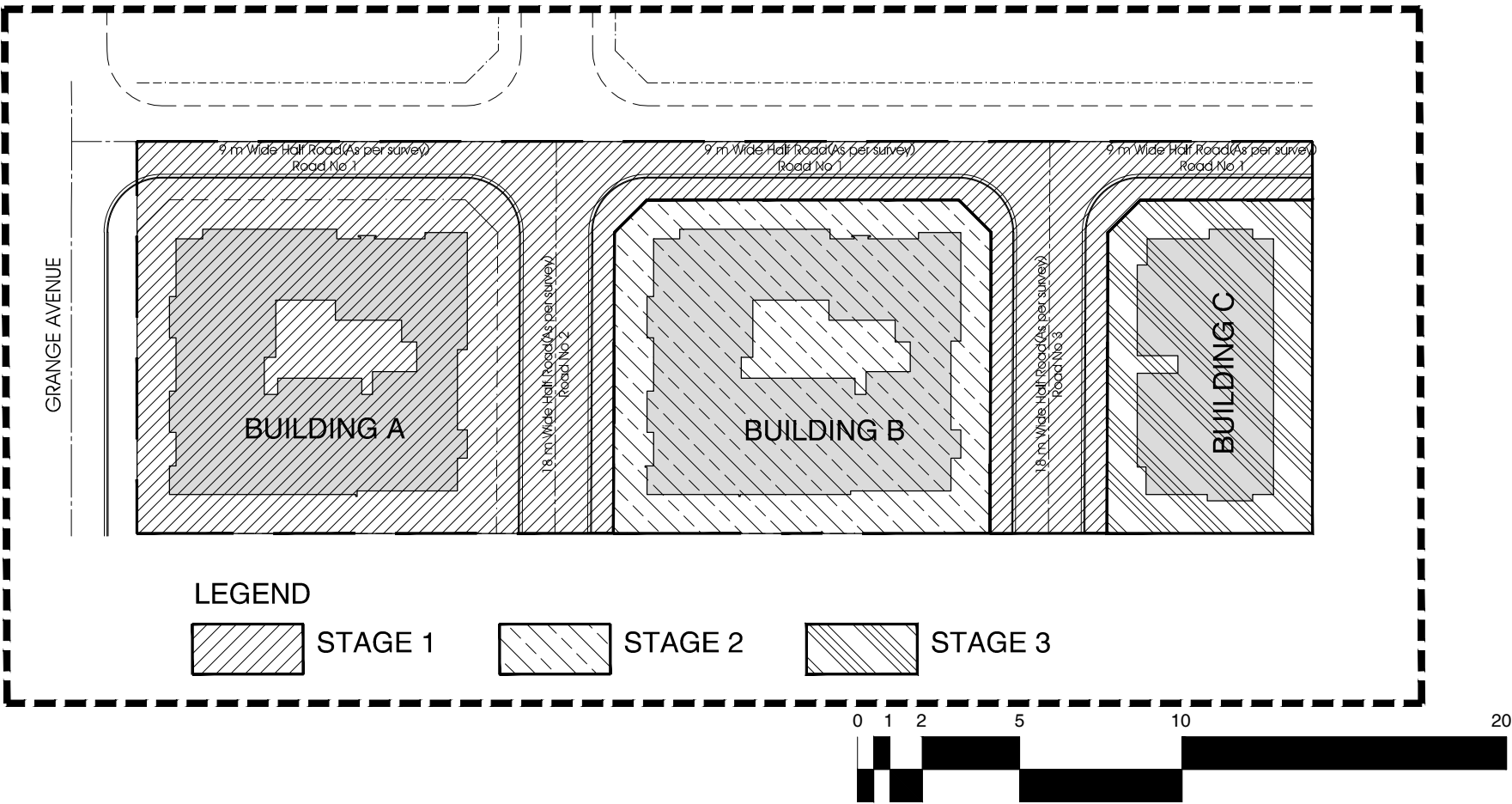
BASIX Commitments (Building A, B & C)

- Water Commitments:
- *Planting – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - *Fixtures – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:
- *Hotwater – Must install a gas instantaneous 5 Star system for each dwelling.
 - *Cooling/ Heating System – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
 - *Ventilation – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - *Other – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

- Water Commitments:
- *Fixtures – Must install 3 Star rating taps.
- Energy Commitments:
- *Ventilation – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - *Lighting – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light- emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - *Other – Must install gearless traction with VVVF motor for lift.

KEY PLAN



Building B- Basement 2 Plan (Stage 2)
Sc: 1:200 (on A1)

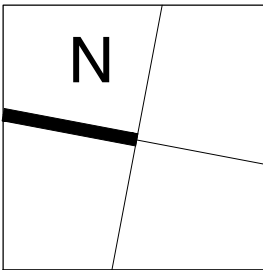
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE: DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION. COPYRIGHT: INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.
--

DESIGN CUBICLE PTY LTD
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333



DESIGN CUBICLE PTY LTD
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

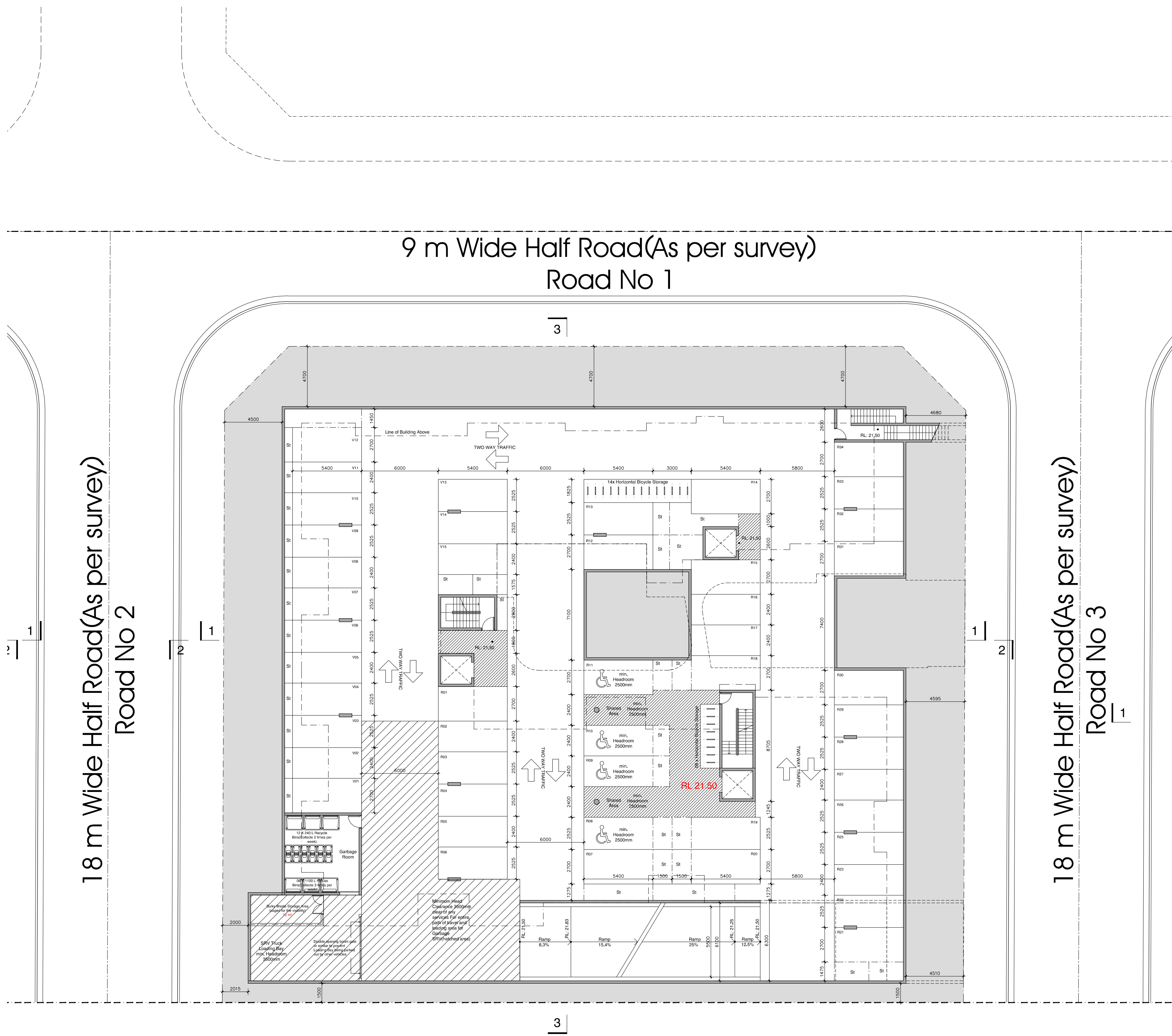


SHEET TITLE:
BASEMENT 2 PLAN
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:221
SCALE:
1:200 (ON A1)

ISSUE:
G



Building B- Basement 1 Plan (Stage 2)
Sc: 1:200 (on A1)

BASIX Commitments (Building A, B & C)

Water Commitments:

- * **Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
- * **Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.

Energy Commitments:

- * **Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
- * **Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5-4.0 to the living areas of each dwelling.
- * **Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
- * **Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

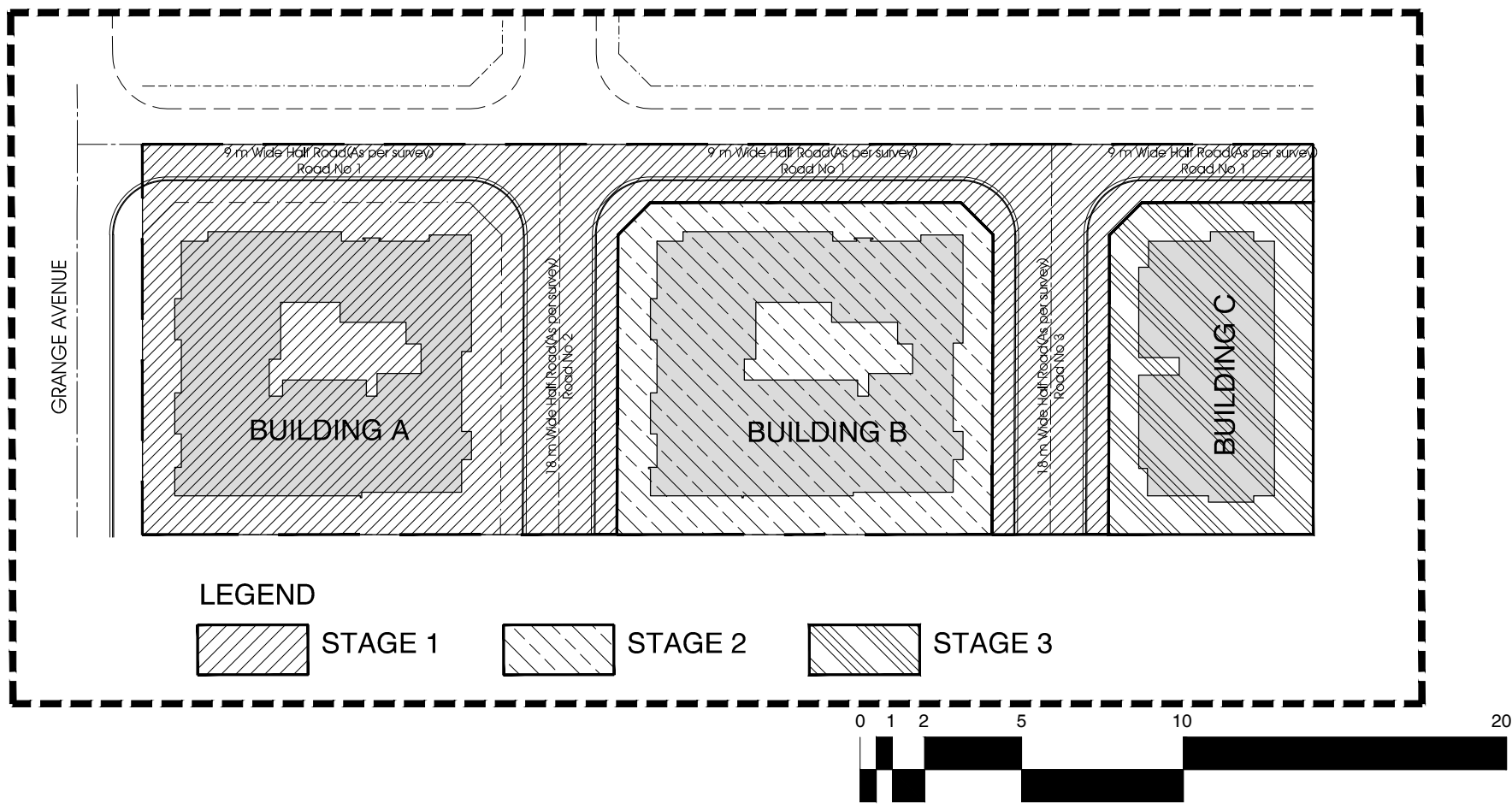
Water Commitments:

- * **Fixtures** – Must install 3 Star rating taps.

Energy Commitments:

- * **Ventilation** – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - Lift car: light- emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
- * **Other** – Must install gearless traction with VVVF motor for lift.

KEY PLAN



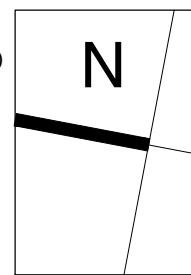
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY PLOTTED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY PLOTTED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

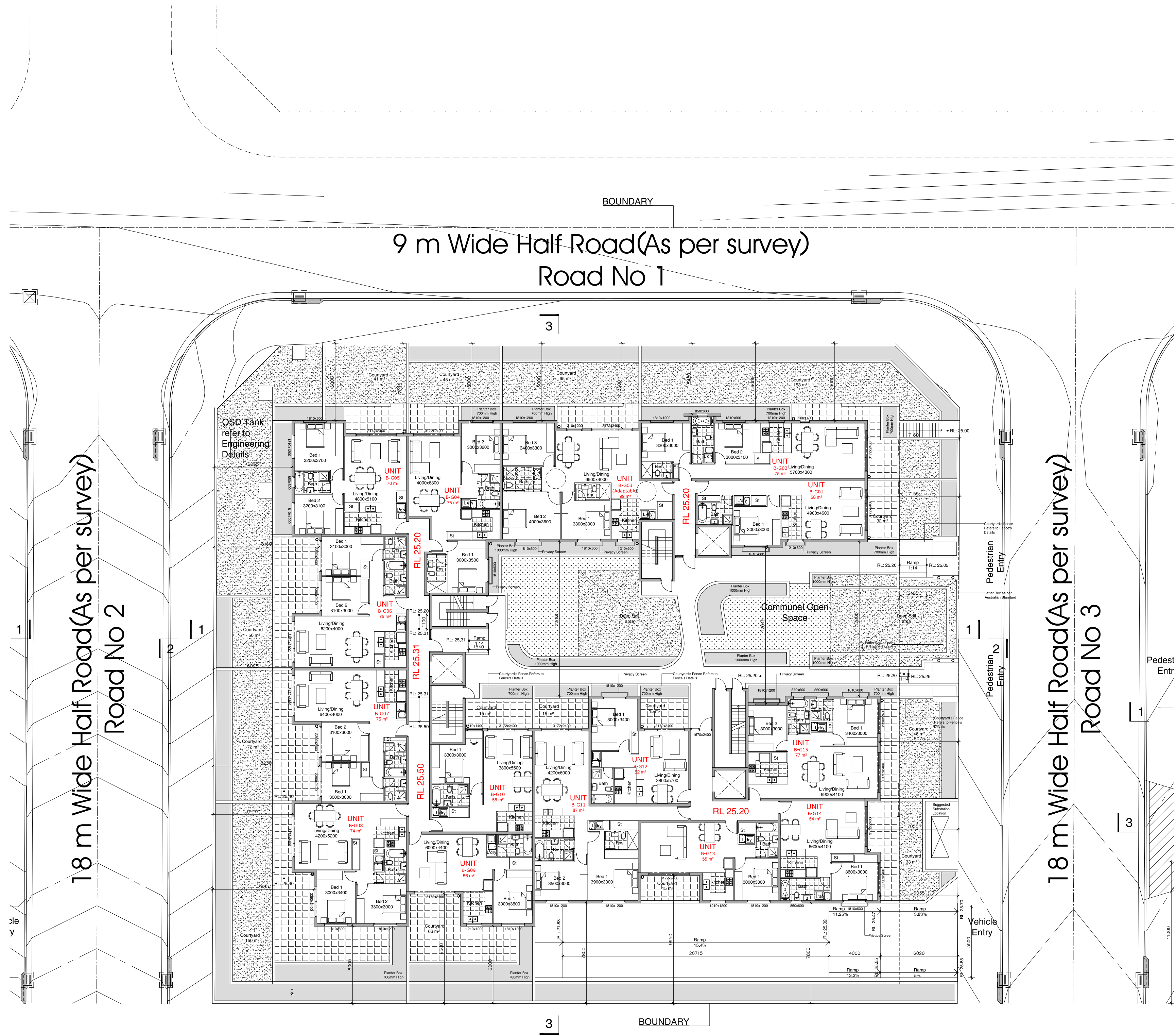


SHEET TITLE:
BASEMENT 1 PLAN
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No:
150723 DA:222
1:200 (ON A1)

ISSUE:
G
SCALE:
1:200 (ON A1)



BASIX Commitments (Building A, B & C)

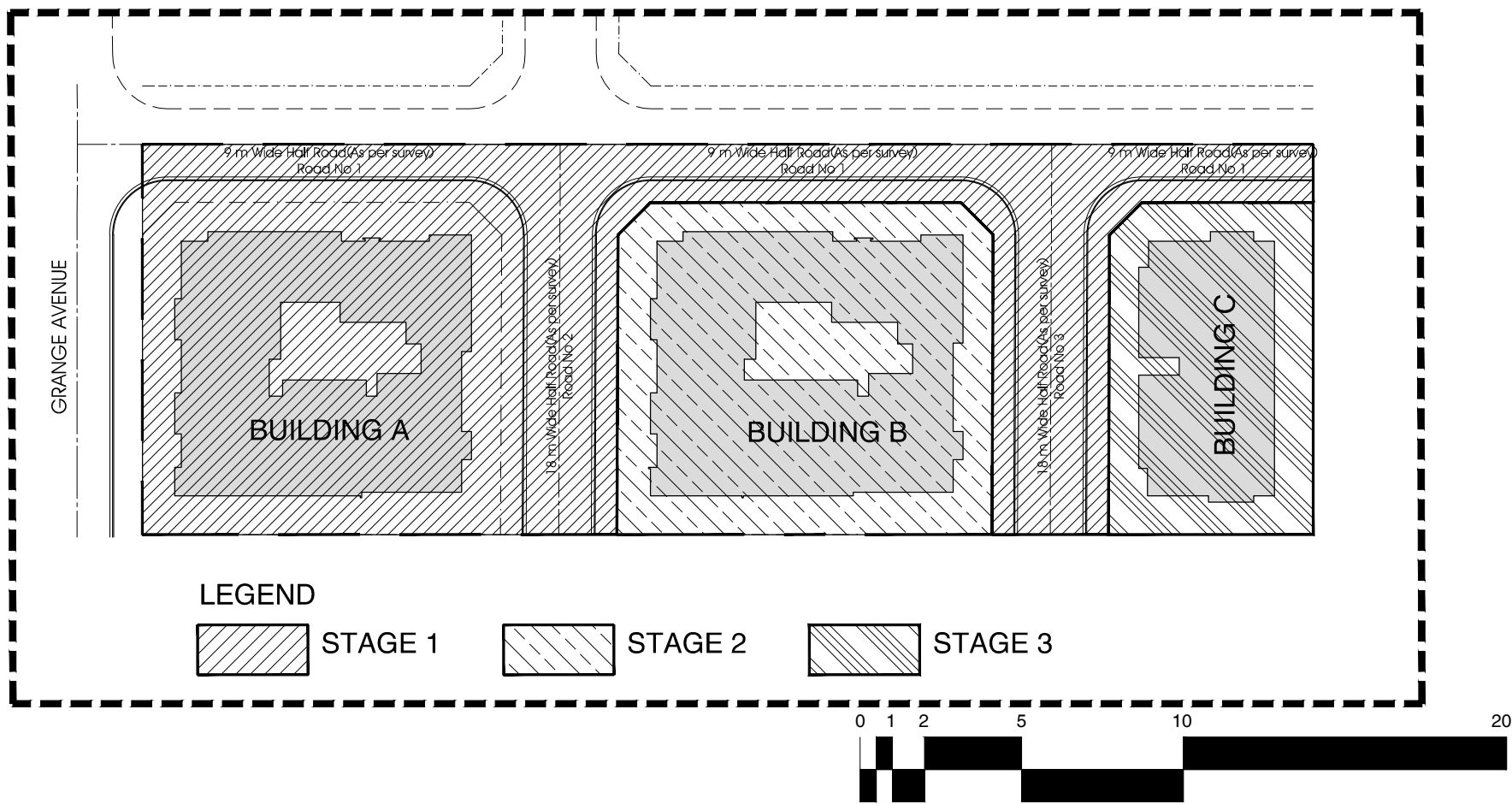
- Water Commitments:
- *Planting – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - *Fixtures – Must install 3 Star rating showerheads in all showers. (>4.5 but <6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:
- *Hotwater – Must install a gas instantaneous 5 Star system for each dwelling.
 - *Cooling/ Heating System – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
 - *Ventilation – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - *Other – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

- Water Commitments:
- *Fixtures – Must install 3 Star rating taps.
- Energy Commitments:
- *Ventilation – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - *Lighting – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light-emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - *Other – Must install gearless traction with VVVF motor for lift.

Building B- Ground Floor Plan (Stage 2)
Sc: 1:200 (on A1)

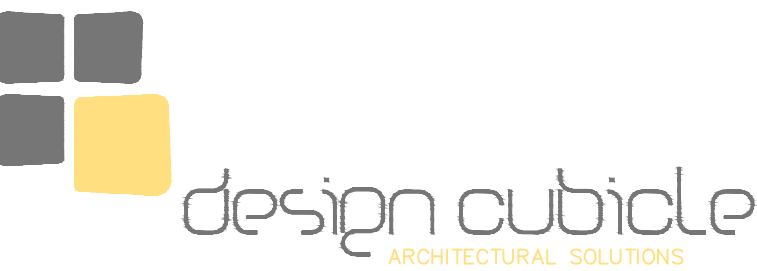
KEY PLAN



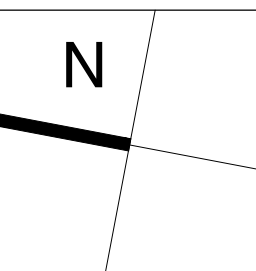
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE: DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION. COPYRIGHT: INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

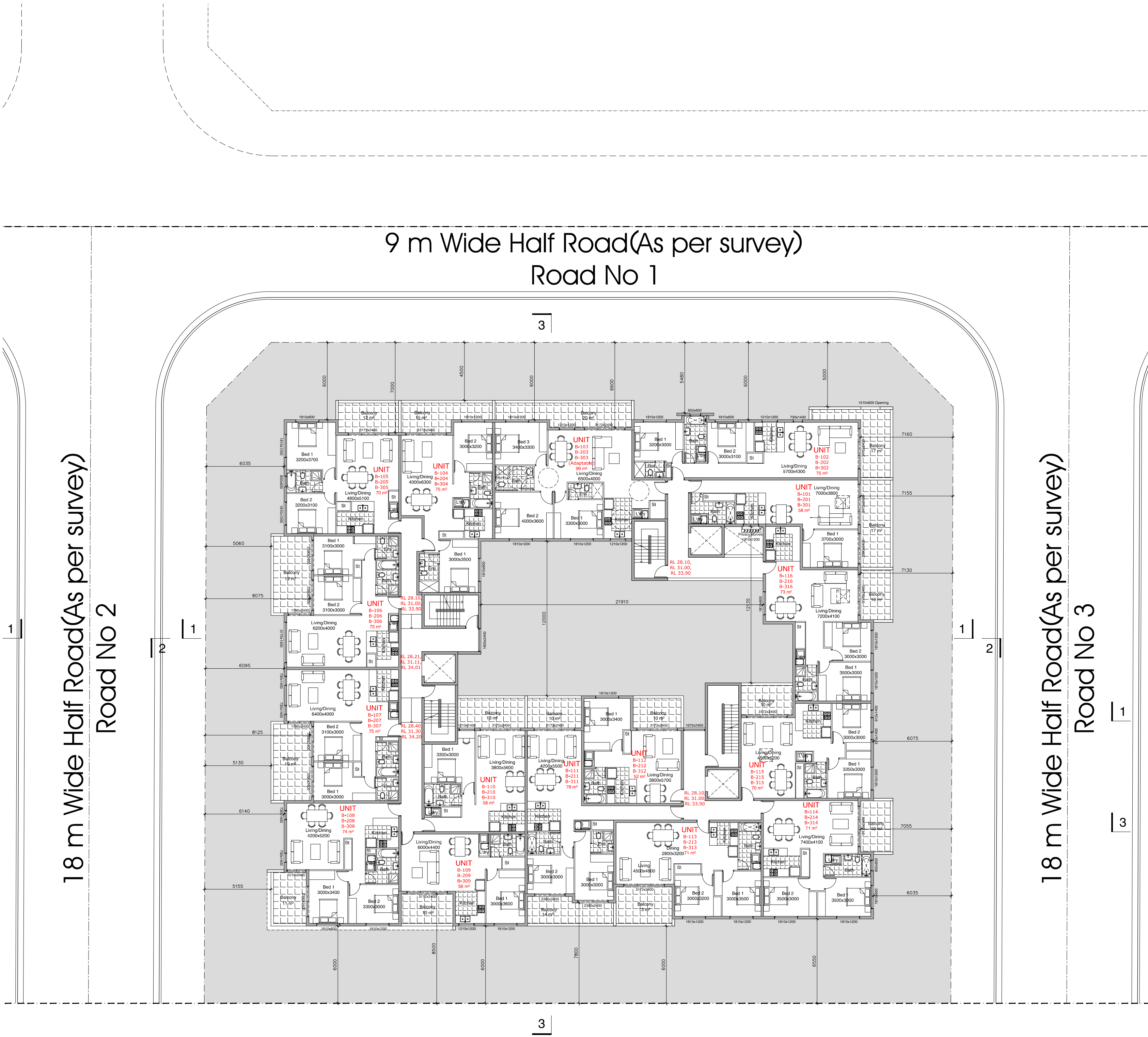


SHEET TITLE:
GROUND FLOOR PLAN
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No:
150723 DA:223
1:200 (ON A1)

ISSUE:
G
SCALE:
1:200 (ON A1)



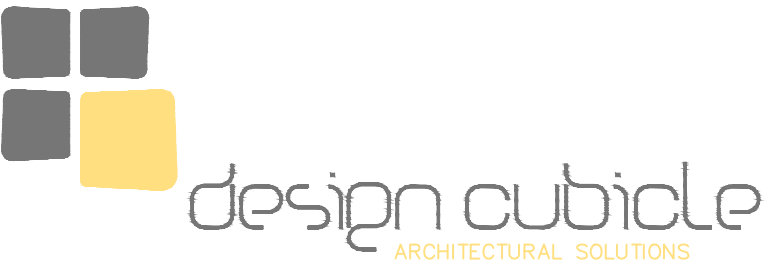
- BASIX Commitments (Building A, B & C)**
- Water Commitments:**
- * **Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - * **Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:**
- * **Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
 - * **Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
 - * **Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - * **Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.
- Common Areas**
- Water Commitments:**
- * **Fixtures** – Must install 3 Star rating taps.
- Energy Commitments:**
- * **Ventilation** – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - * **Lighting** – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light-emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - * **Other** – Must install gearless traction with VVVF motor for lift.

Building B- Typical Floor Plan
- First to Third (Stage 2)
Sc: 1:200 (on A1)

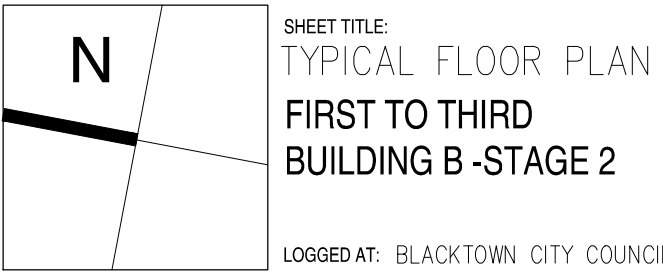
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE COVER AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD.
COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE COVER AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD.
COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



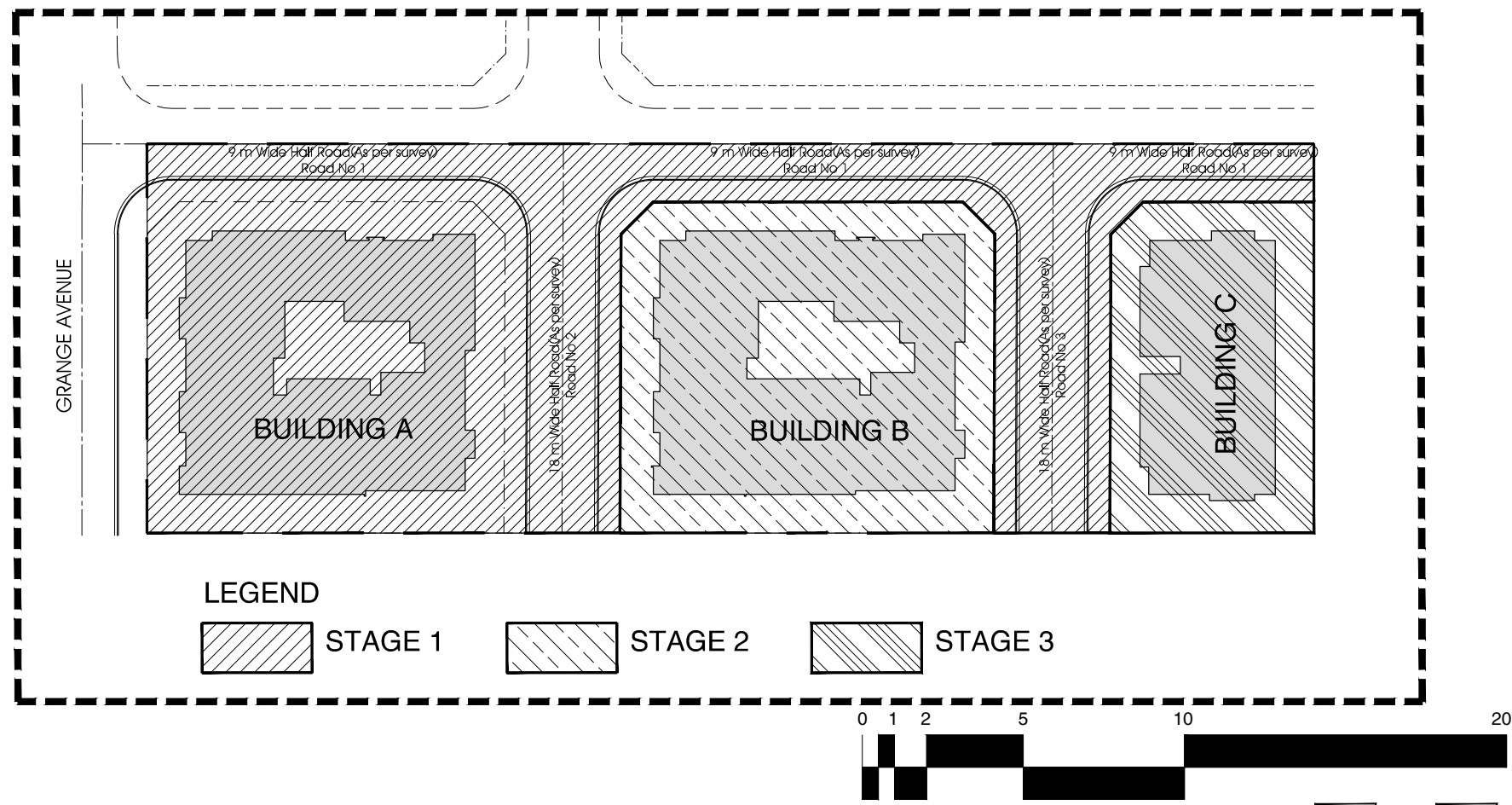
Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333



SHEET TITLE:
TYPICAL FLOOR PLAN
FIRST TO THIRD
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No:
150723 DA:224
DATE:
OCT 15
ISSUE:
G
SCALE:
1:200 (ON A1)

KEY PLAN

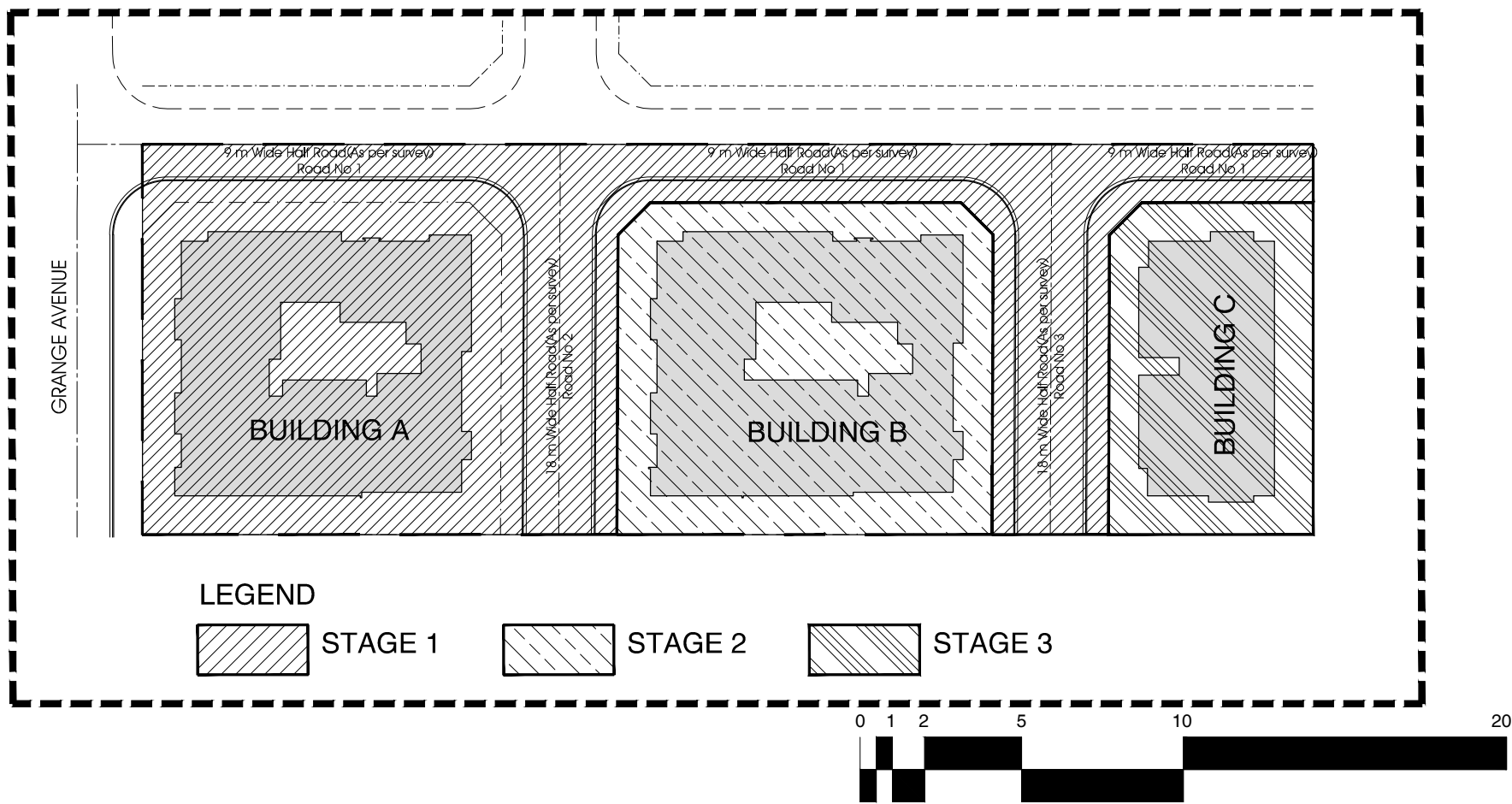




- BASIX Commitments (Building A, B & C)**
- Water Commitments:**
- * **Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - * **Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:**
- * **Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
 - * **Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
 - * **Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - * **Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.
- Common Areas**
- Water Commitments:**
- * **Fixtures** – Must install 3 Star rating taps.
- Energy Commitments:**
- * **Ventilation** – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - * **Lighting** – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light-emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - * **Other** – Must install gearless traction with VVVF motor for lift.

Building B- Fourth Floor Plan (Stage 2)
Sc: 1:200 (on A1)

KEY PLAN



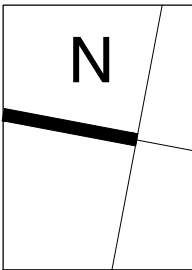
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

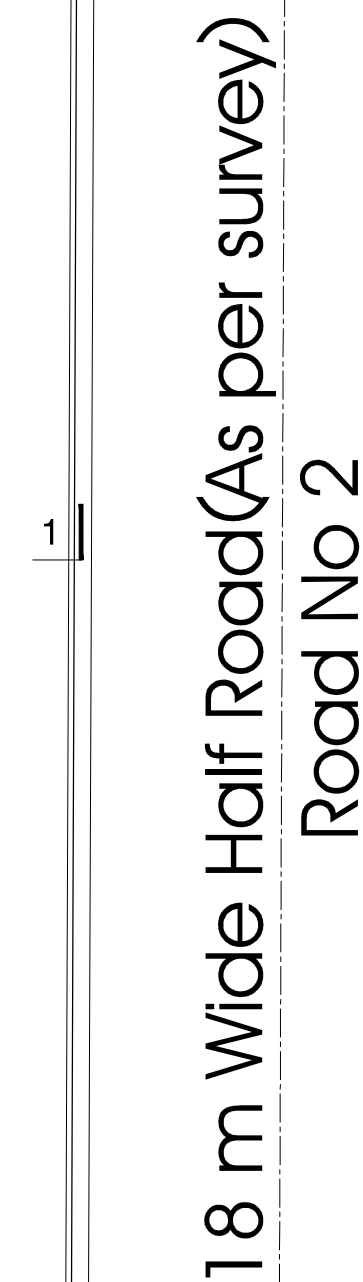


SHEET TITLE:
FOURTH FLOOR PLAN
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No:
150723 DA:225
1:200 (ON A1)

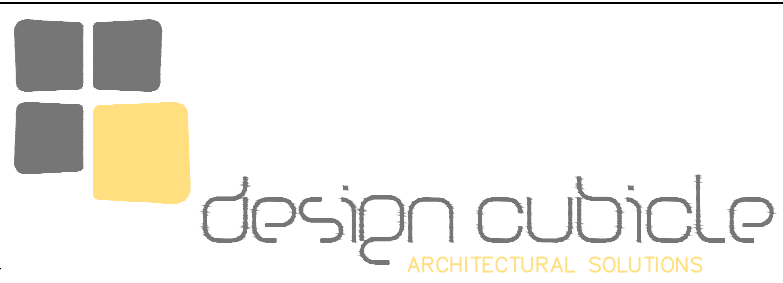
ISSUE:
G
SCALE:
1:200 (ON A1)



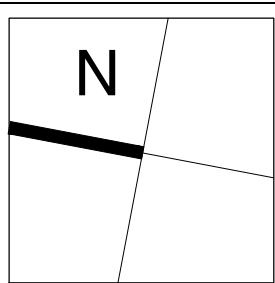
Sc: 1:200 (on A1)

F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YF
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YF
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YF
A	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YF
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD
COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#8842)
Address: 44 Sorrell Street,
North Paramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333



SHEET TITLE:
ROOF PLAN
BUILDING B-STAGE 2

LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN

CHECKED BY:
FG

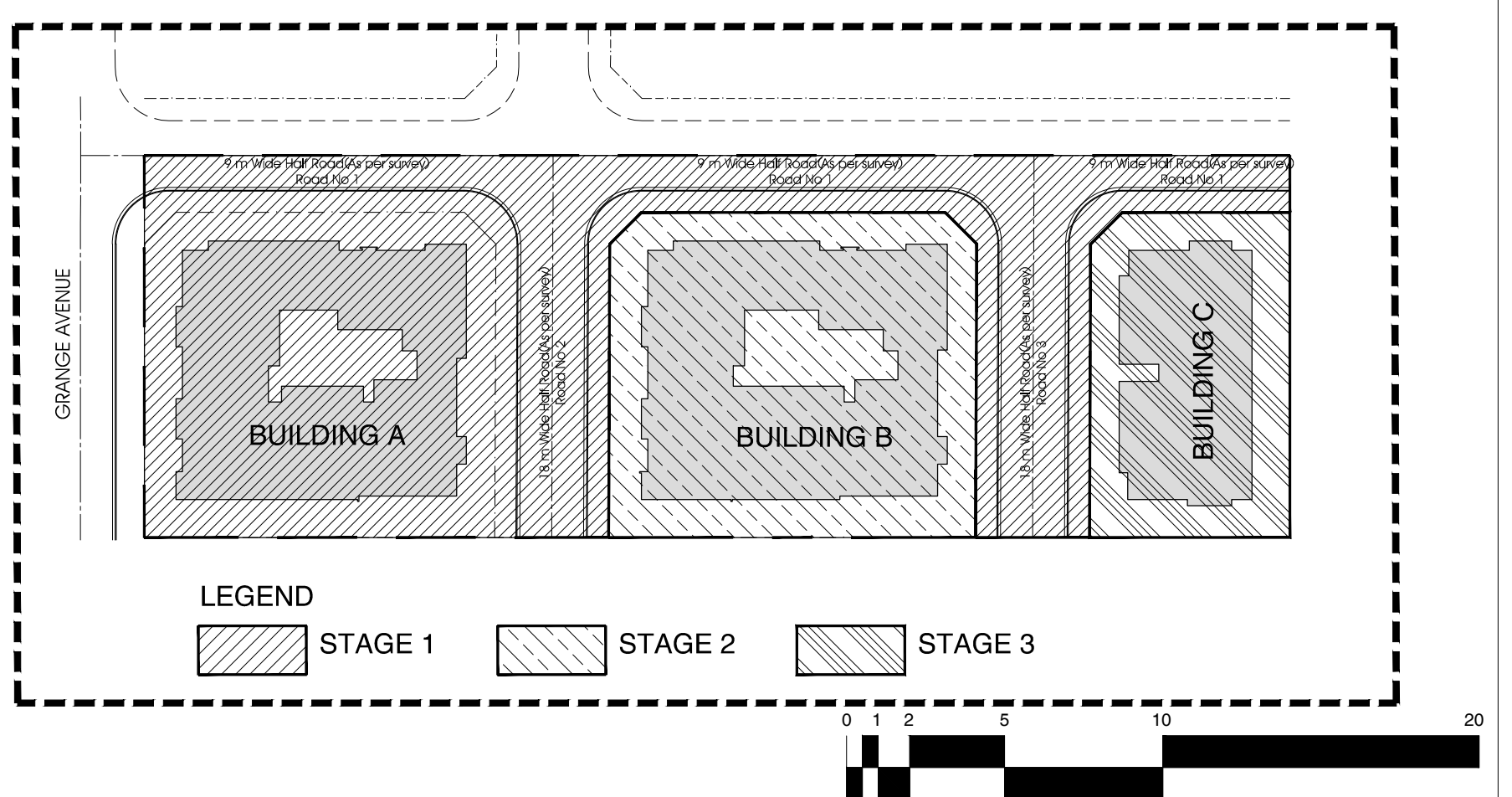
DATE:
OCT 15

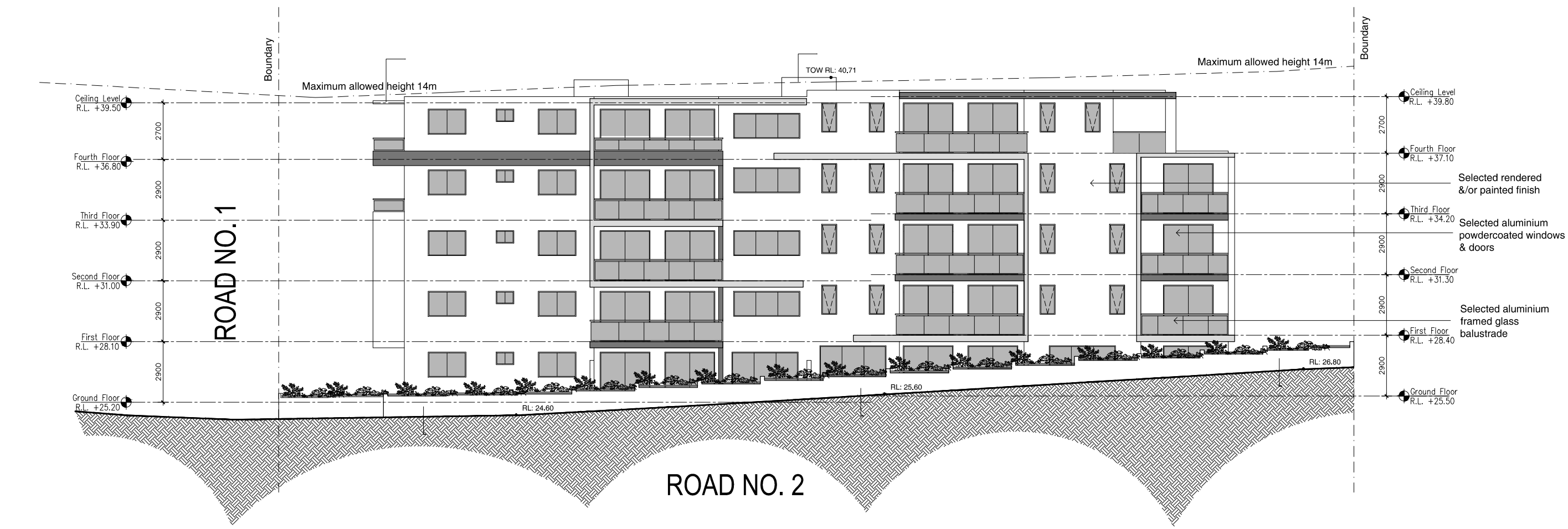
PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK

JOB No.
150723 DA:226 1:200 (ON

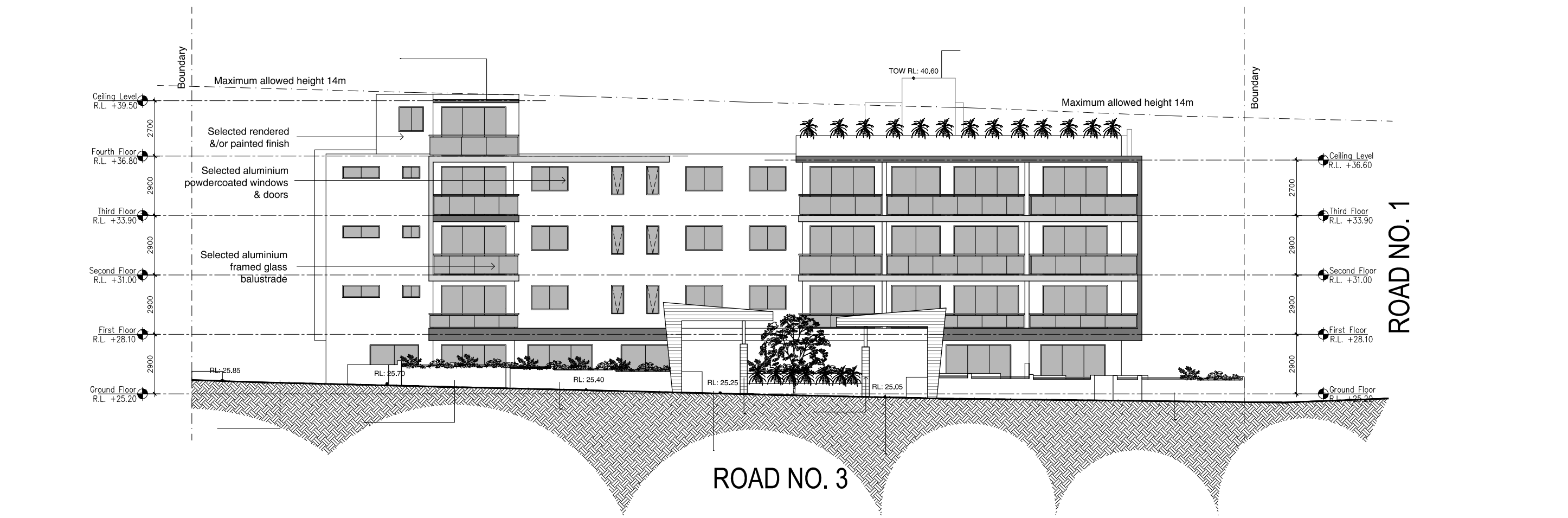
ISSUE:
G

SCALE:
A1)

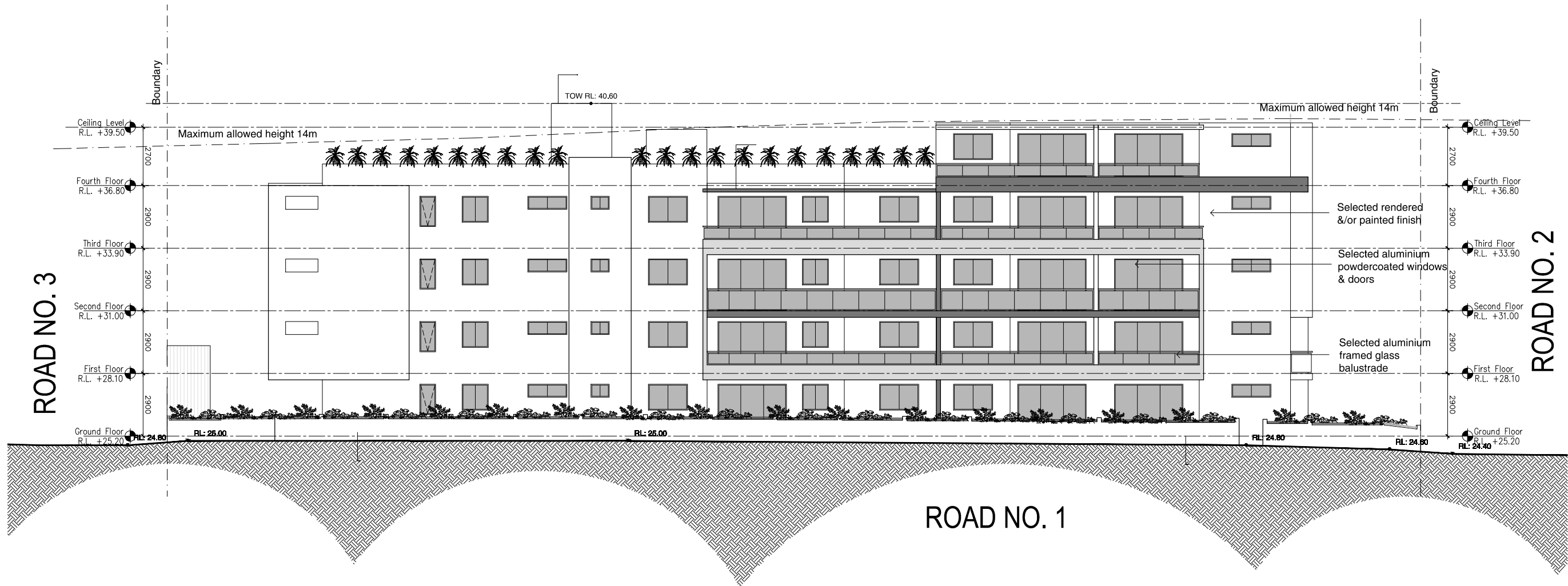




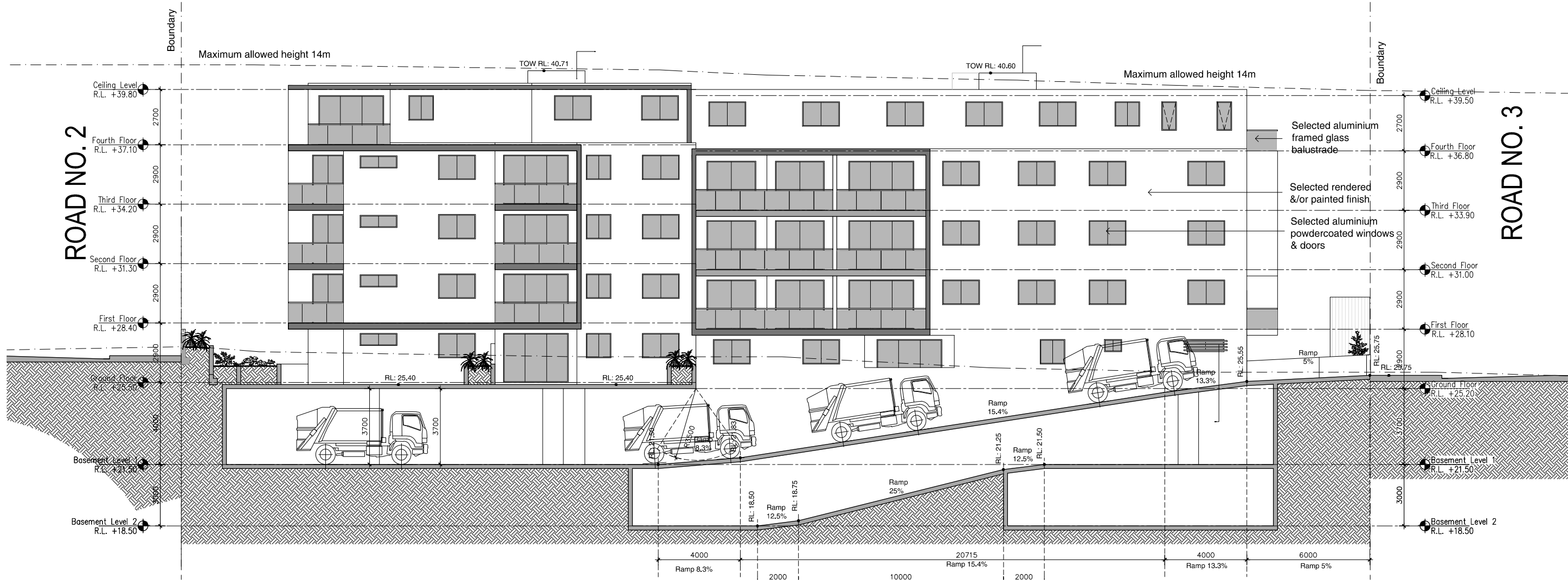
Building B- North Elevation (Stage 2)
Sc: 1:200 (on A1)



Building B- South Elevation (Stage 2)
Sc: 1:200 (on A1)

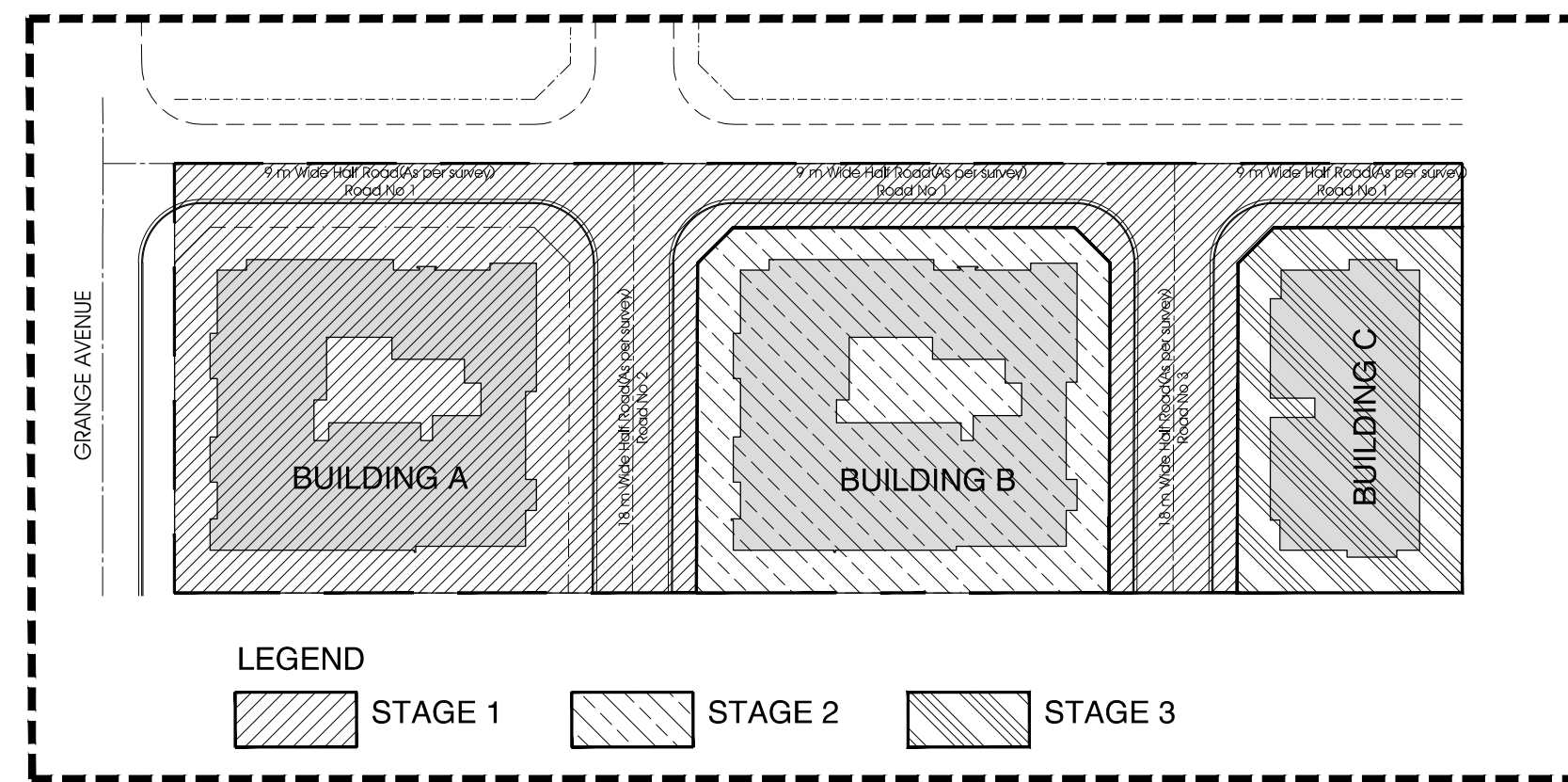


Building B- East Elevation (Stage 2)
Sc: 1:200 (on A1)



Building B- West Elevation (Stage 2)
Sc: 1:200 (on A1)

KEY PLAN



BASIX Commitments (Building A, B & C)

Water Commitments:

- *Planting – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
- *Fixtures – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.

Energy Commitments:

- *Hotwater – Must install a gas instantaneous 5 Star system for each dwelling.
- *Cooling/ Heating System – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
- *Ventilation – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
- *Other – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

Water Commitments:

- *Fixtures – Must install 3 Star rating taps.

Energy Commitments:

- *Ventilation – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
- *Lighting – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light- emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
- *Other – Must install gearless traction with VVVF motor for lift.

F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK, DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

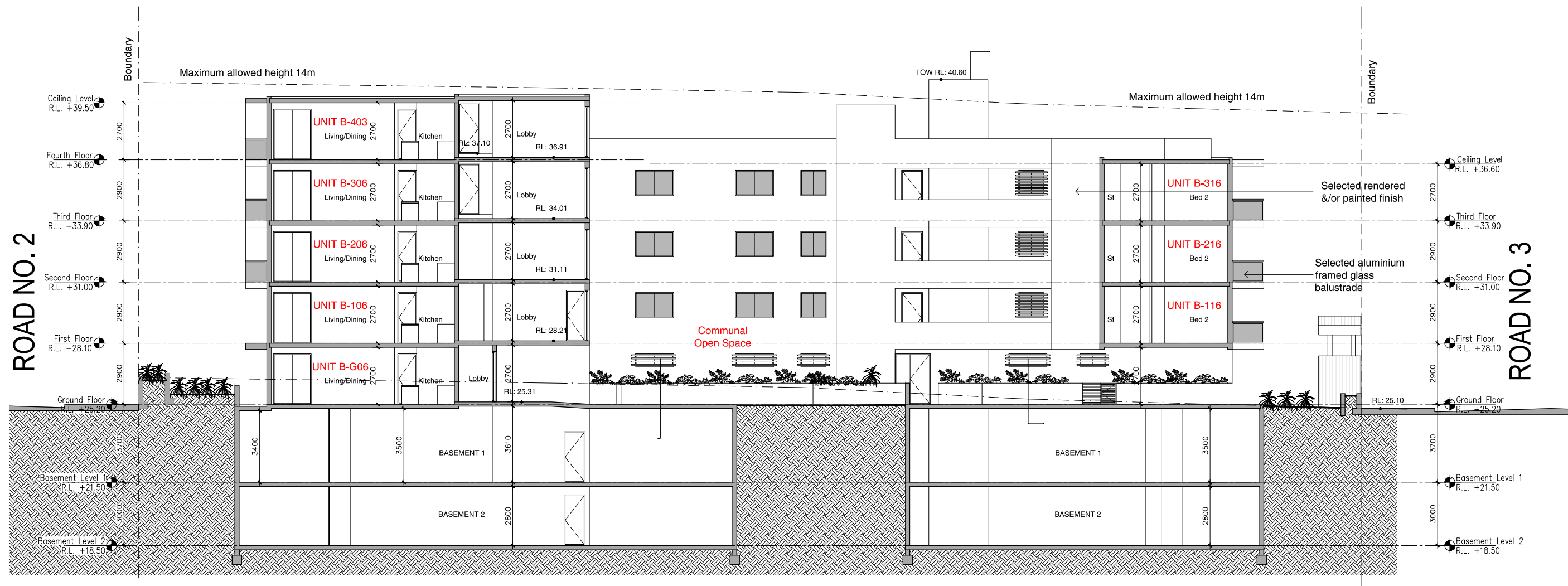


Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

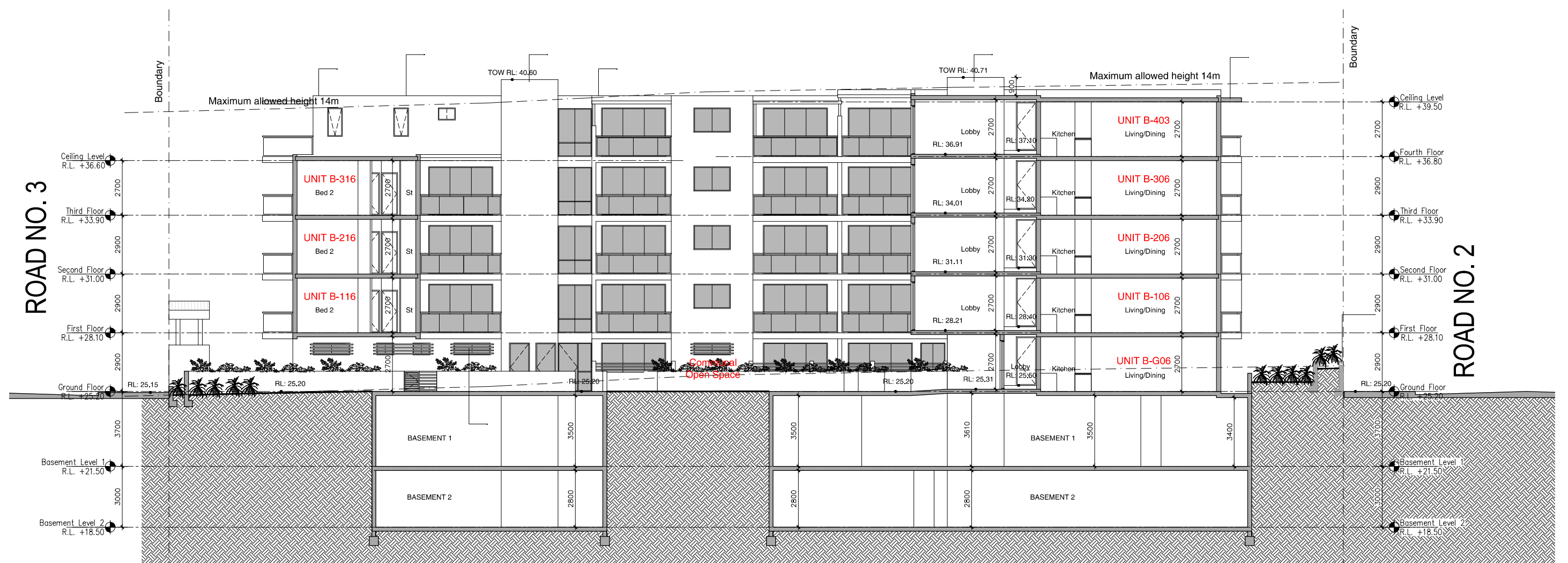
SHEET TITLE:
ELEVATIONS
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15
PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:227
SCALE:
1:200 (ON A1)

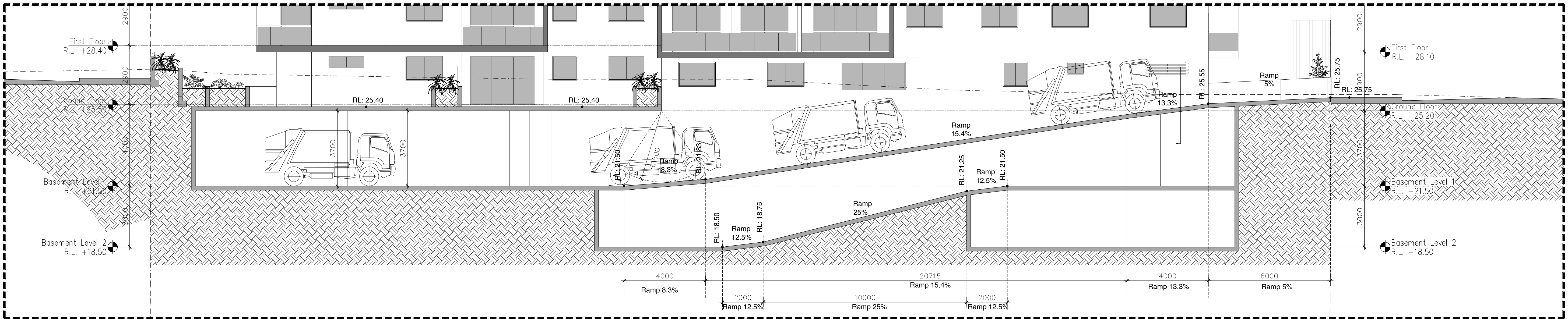
ISSUE:
G



Building B- Section 1-1(Stage 2)
Sc: 1:200 (on A1)



Building B- Section 2-2(Stage 2)
Sc: 1:200 (on A1)



Building B- Driveway Section 1-1(Stage 2)
Sc: 1:100 (on A1)

BASIX Commitments (Building A, B & C)

Water Commitments:

- * **Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
- * **Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.

Energy Commitments:

- * **Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
- * **Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
- * **Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
- * **Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

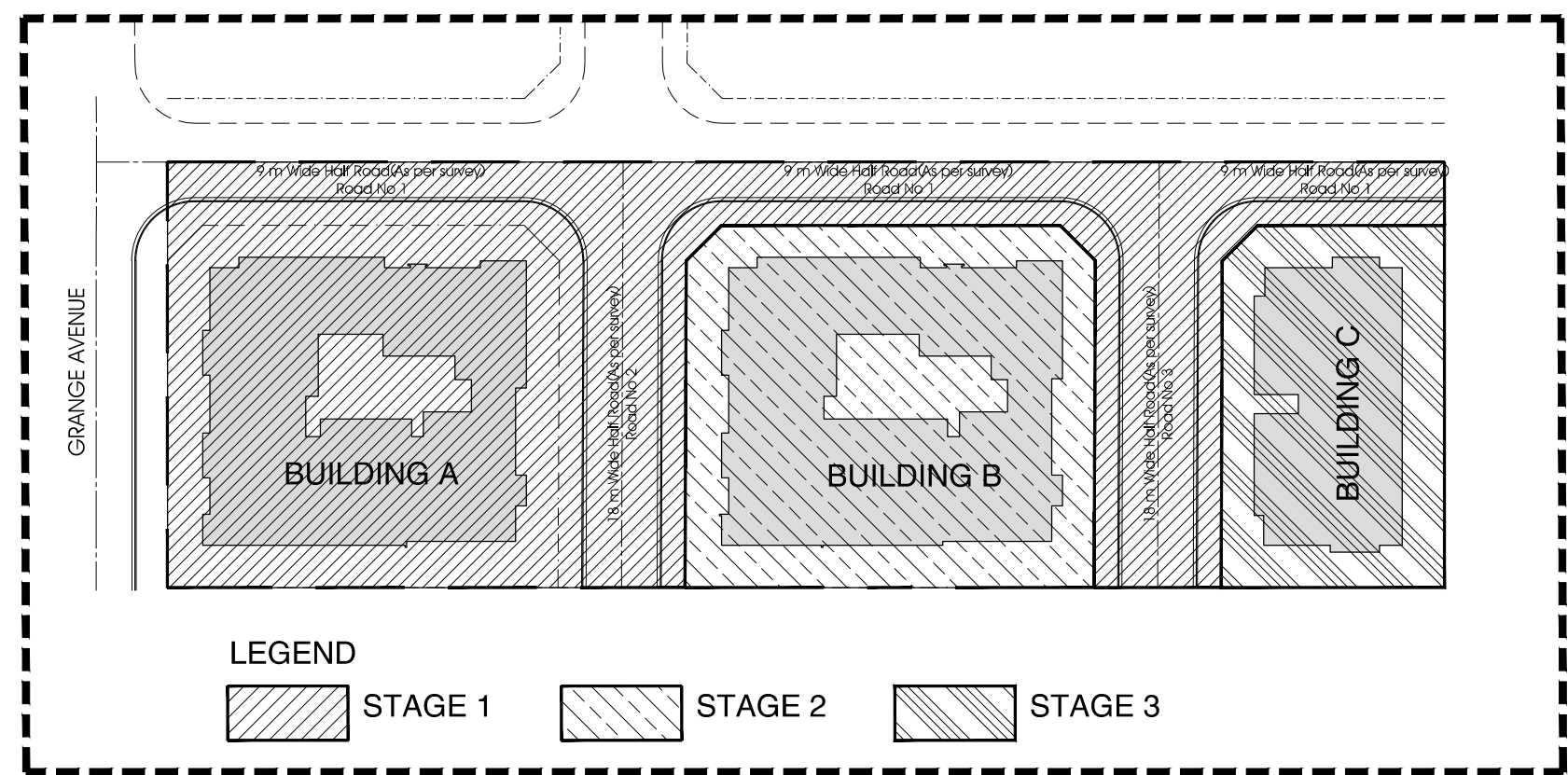
Water Commitments:

- * **Fixtures** – Must install 3 Star rating taps.

Energy Commitments:

- * **Ventilation** – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
- * **Lighting** – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light- emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
- * **Other** – Must install gearless traction with VVVF motor for lift.

KEY PLAN



F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



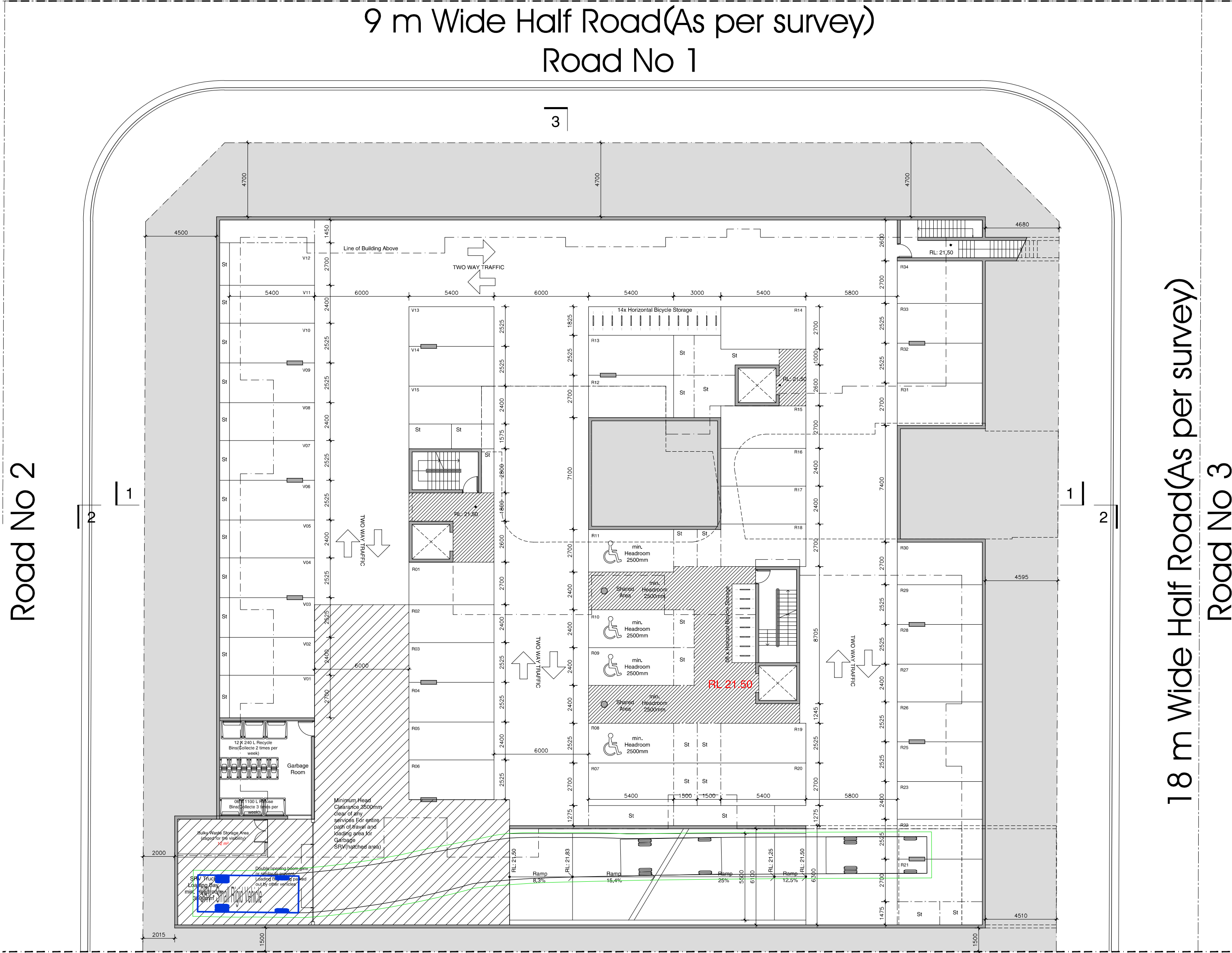
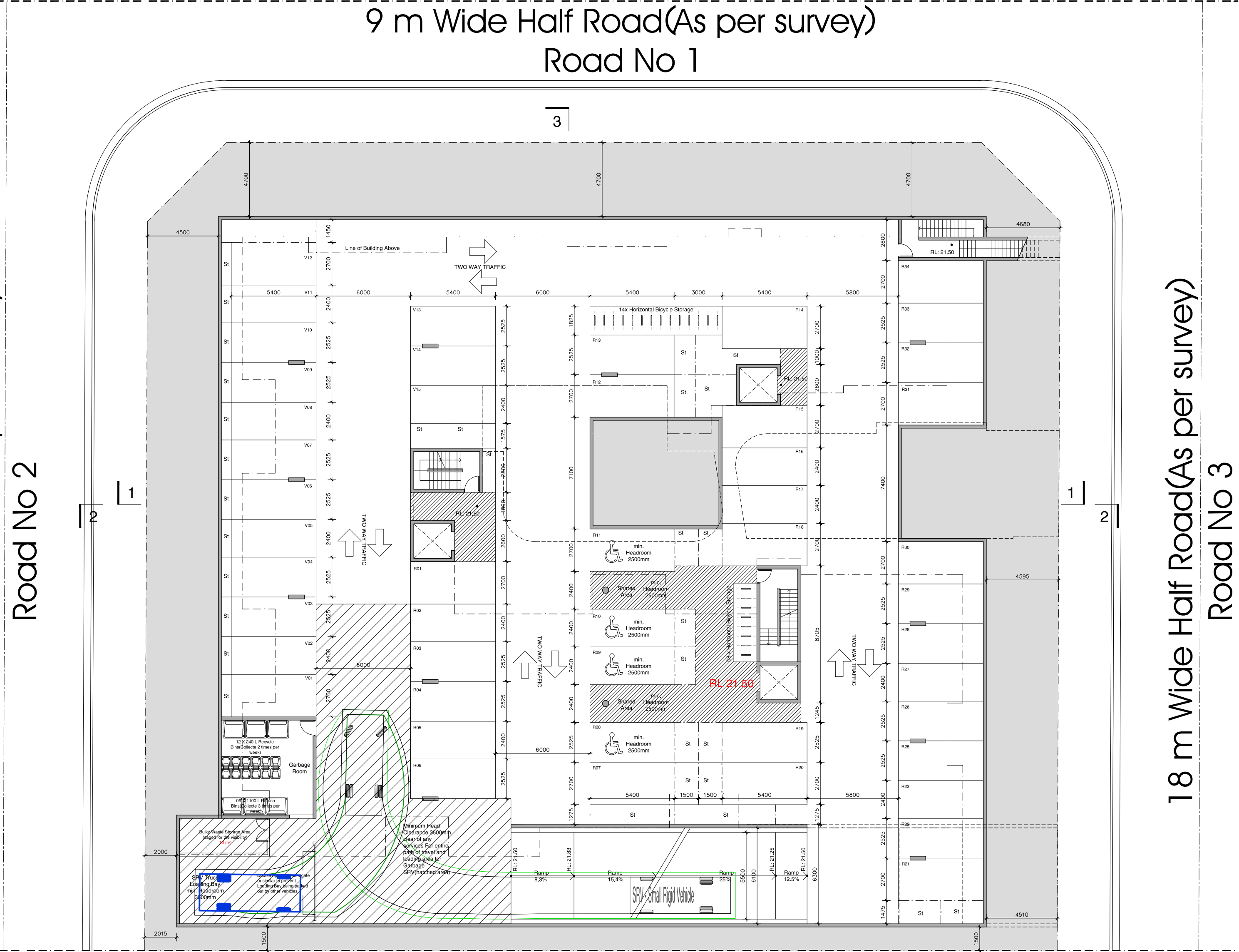
Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

SHEET TITLE:
SECTIONS 1-1 & 2-2
BUILDING B-STAGE 2
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

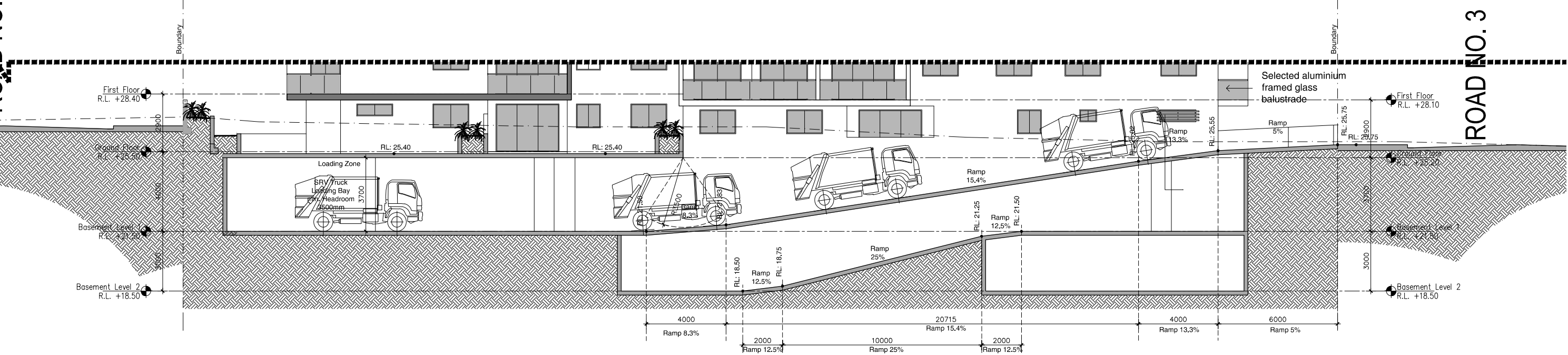
PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:228 AS MARKED (ON A1)
ISSUE:
G
SCALE:





Building B- Entry template for loading vehicle (Stage 2)
Sc: 1:200 (on A1)

Building B- Exit template for loading vehicle (Stage 2)
Sc: 1:200 (on A1)



Building B - Driveway Section (Stage 2)
Sc: 1:200 (on A1)

F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



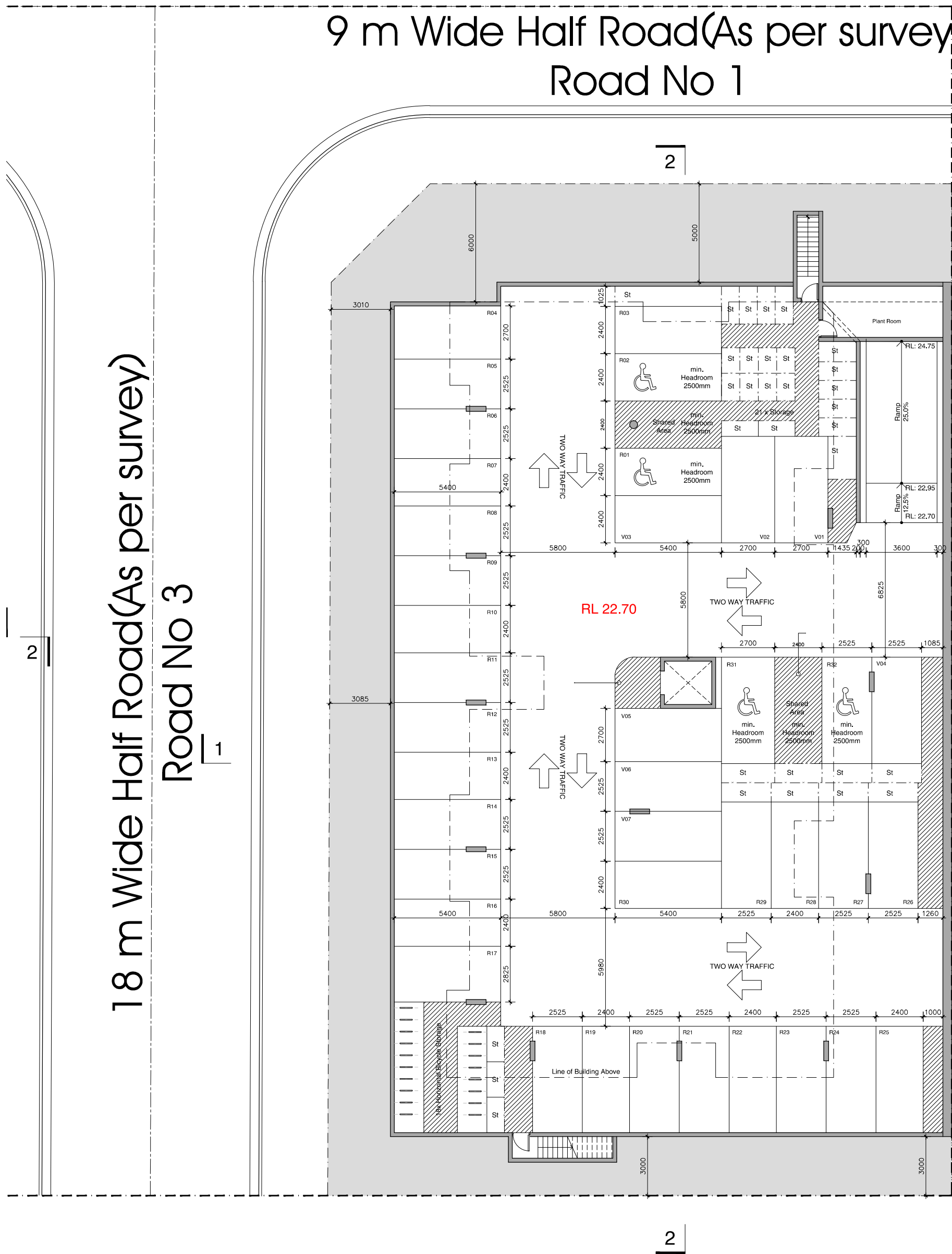
Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

SHEET TITLE:
HEAD CLEARNACE PLAN
& SECTIONS
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:229
AS MARKED (ON A1)

ISSUE:
G
SCALE:
AS MARKED (ON A1)

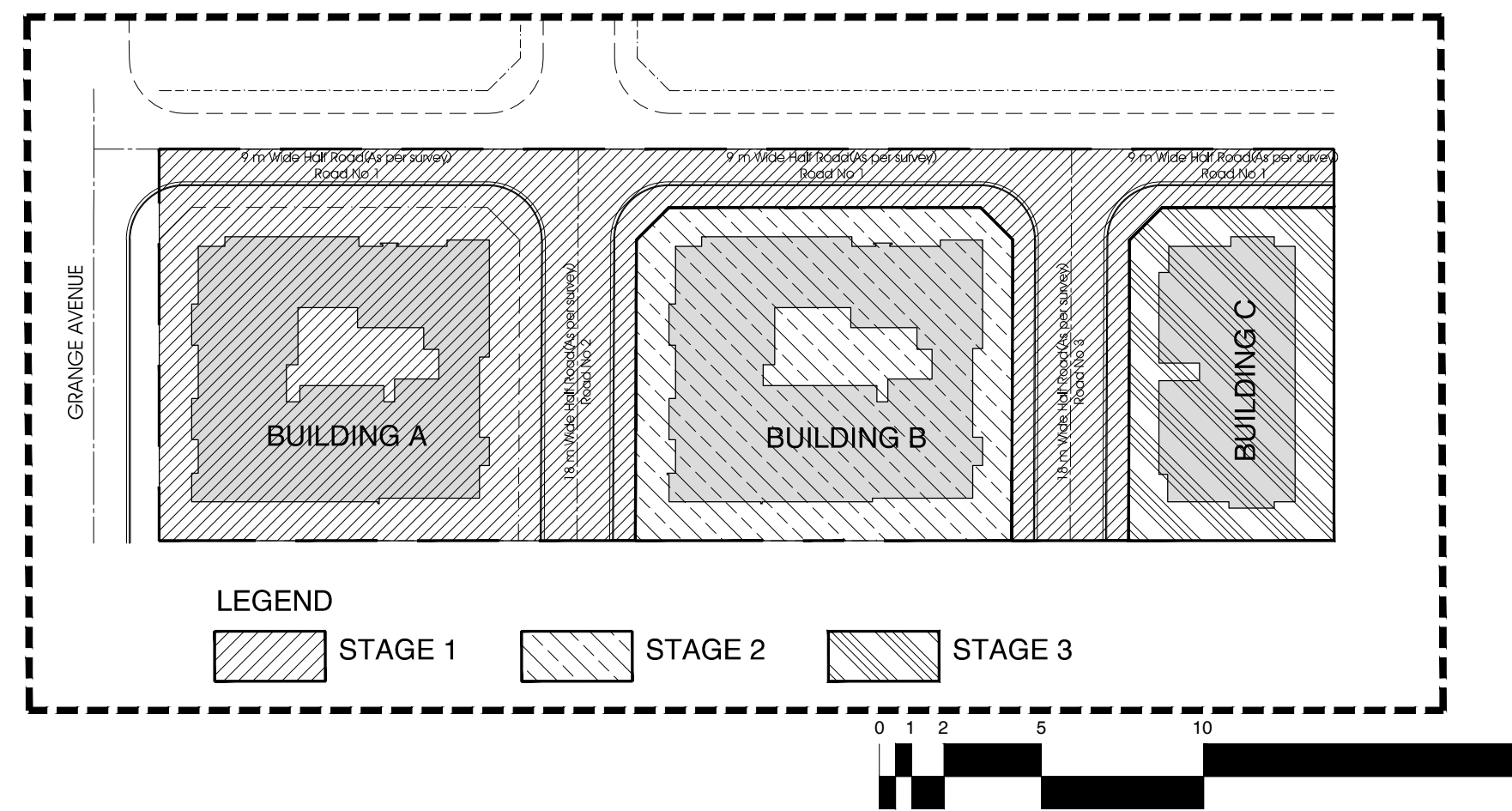


Building C- Basement Plan (Stage 3)
Sc: 1:200 (on A1)



Building C- Ground Floor Plan (Stage 3)
Sc: 1:200 (on A1)

KEY PLAN



BASIX Commitments (Building A, B & C)

- Water Commitments:
- *Planting – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - *Fixtures – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.

- Energy Commitments:
- *Hotwater – Must install a gas instantaneous 5 Star system for each dwelling.
 - *Cooling/ Heating System – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
 - *Ventilation – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - *Other – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

- Water Commitments:
- *Fixtures – Must install 3 Star rating taps.
- Energy Commitments:
- *Ventilation – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - *Lighting – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light-emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - *Other – Must install gearless traction with VVVF motor for lift.

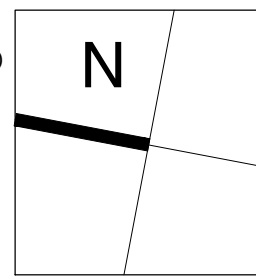
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333



SHEET TITLE:
BASEMENT & GROUND FLOOR
BUILDING C-STAGE 3
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15
PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No:
150723 DA: 231
ISSUE:
G
SCALE:
1:200 (ON A1)



Building C- First to Third Floor Plan (Stage 3)
Sc: 1:200 (on A1)



Building C- Roof Plan (Stage 3)
Sc: 1:200 (on A1)

BASIX Commitments (Building A, B & C)

Water Commitments:

- ***Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
- ***Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
- Must install 3 Star rating toilet flushing system in each toilet.
- Must install 3 Star rating taps in each kitchen.
- Must install 3 Star rating taps in each bathroom.
- Must install 3 Star rating dish washer in each bathroom.

Energy Commitments:

- ***Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
- ***Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
- ***Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
- ***Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
- Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
- Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
- Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

Common Areas

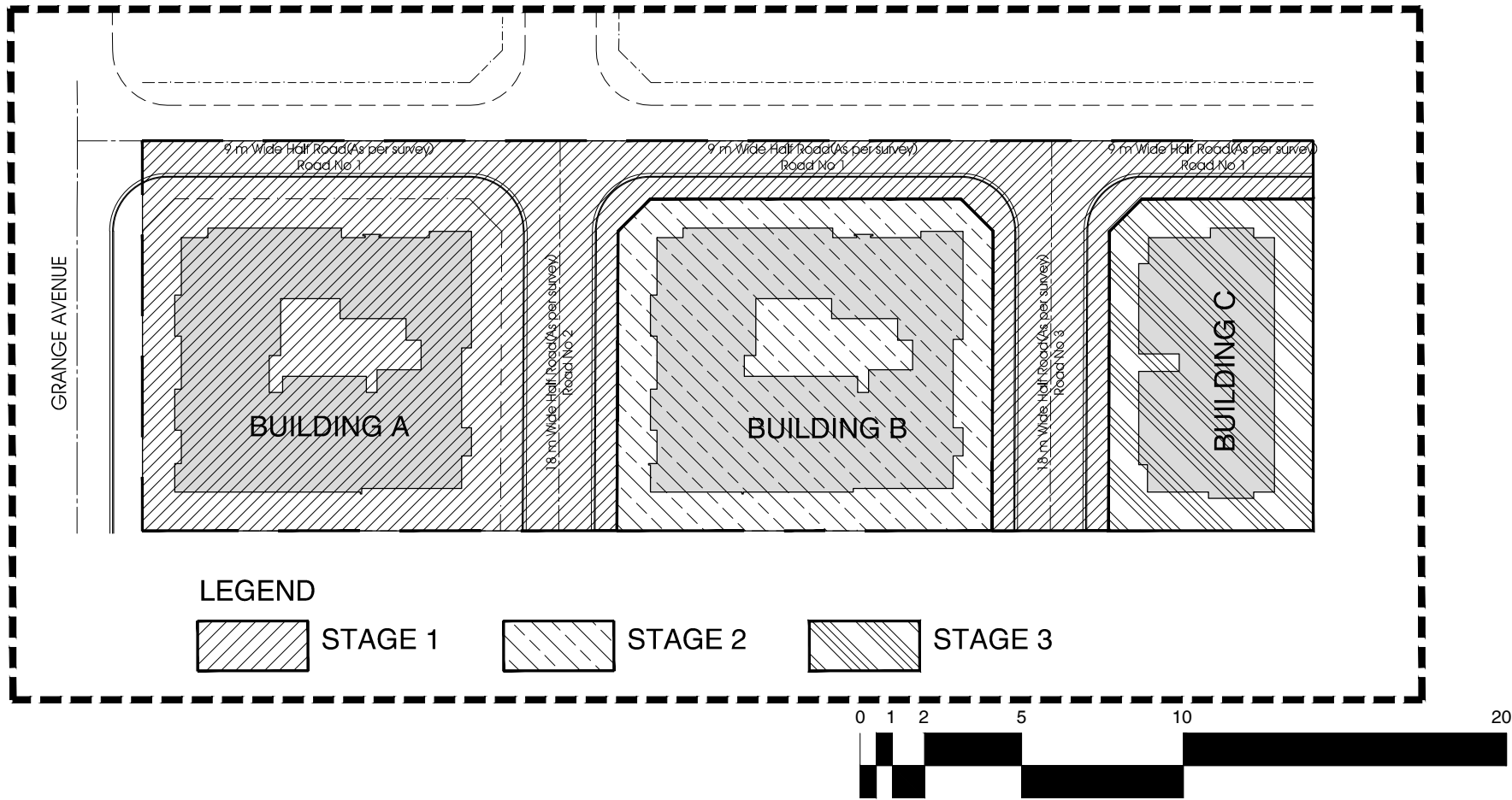
Water Commitments:

- ***Fixtures** – Must install 3 Star rating taps.

Energy Commitments:

- ***Ventilation** – Must install ventilation in:
- Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
- ***Lighting** – Must install lighting in:
- Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
- Lift car: light-emitting diode; Efficiency measure: connected to lift call button.
- Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
- Garbage room: compact fluorescent; Efficiency measure: motion sensor.
- Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
- ***Other** – Must install gearless traction with VVVF motor for lift.

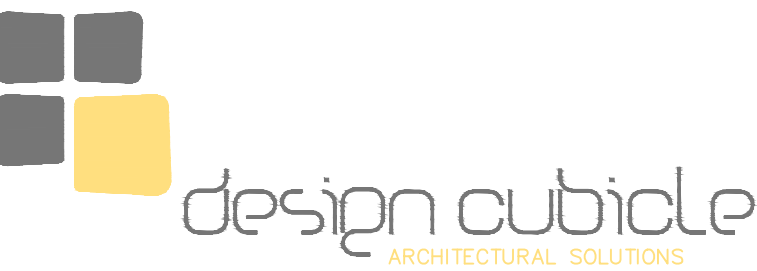
KEY PLAN



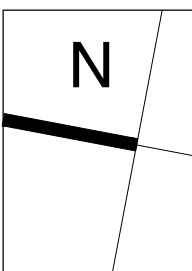
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

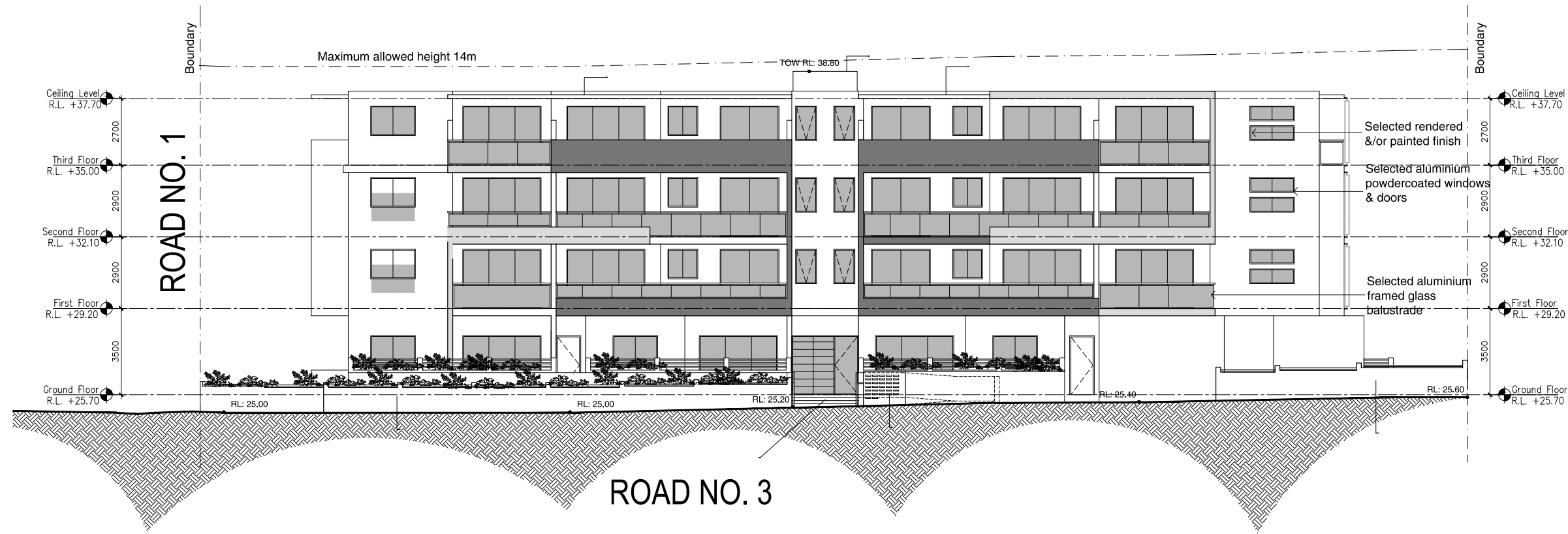


SHEET TITLE:
TYPICAL & ROOF PLAN
BUILDING C-STAGE 3
LOGGED AT: BLACKTOWN CITY COUNCIL

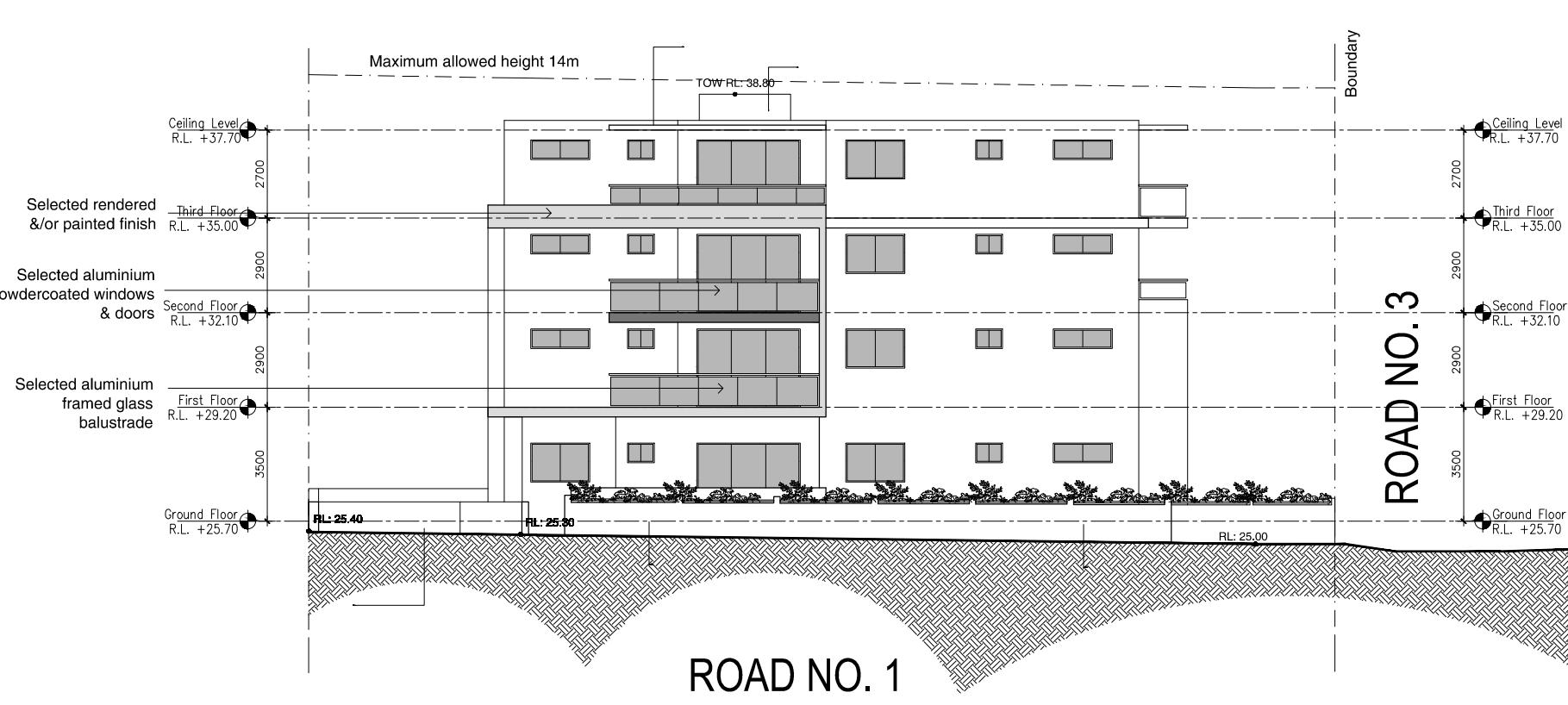
DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:232
SCALE:
1:200 (ON A1)

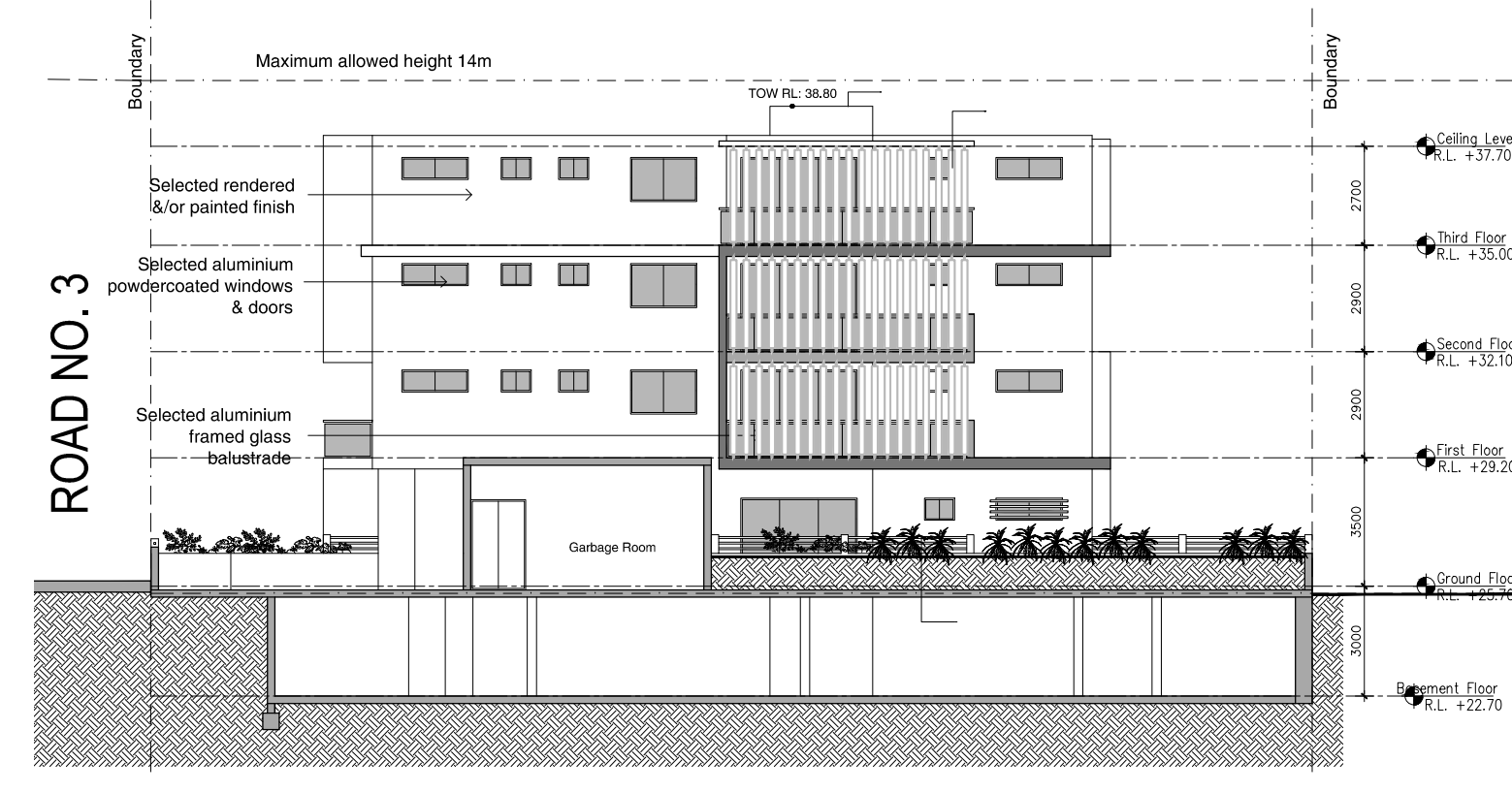
ISSUE:
G



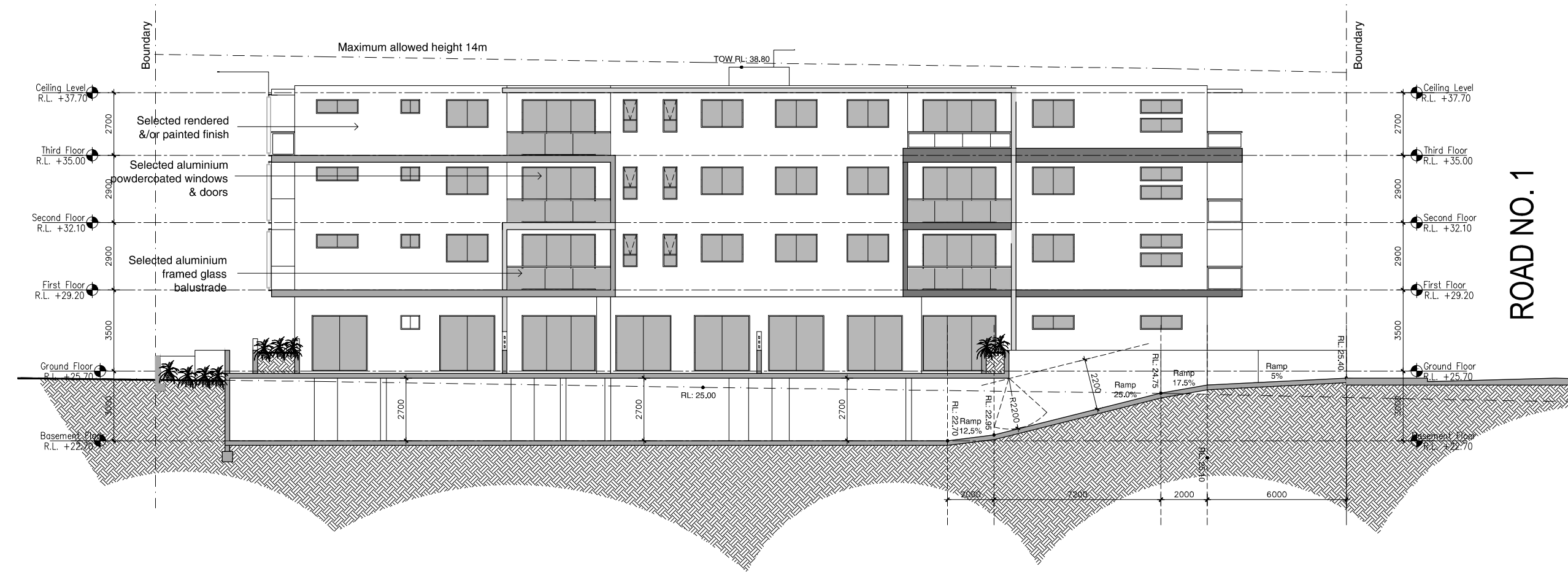
Building C- North Elevation (Stage 3)
Sc: 1:200 (on A1)



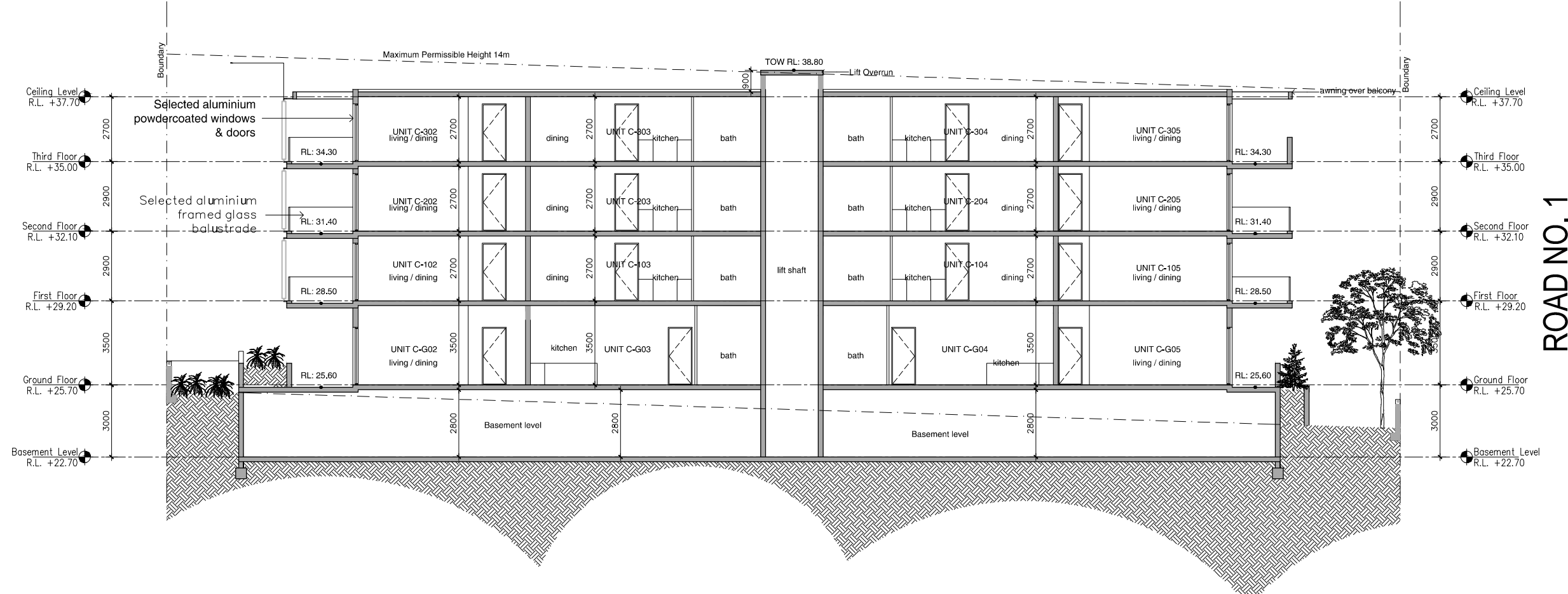
Building C- East Elevation (Stage 3)
Sc: 1:200 (on A1)



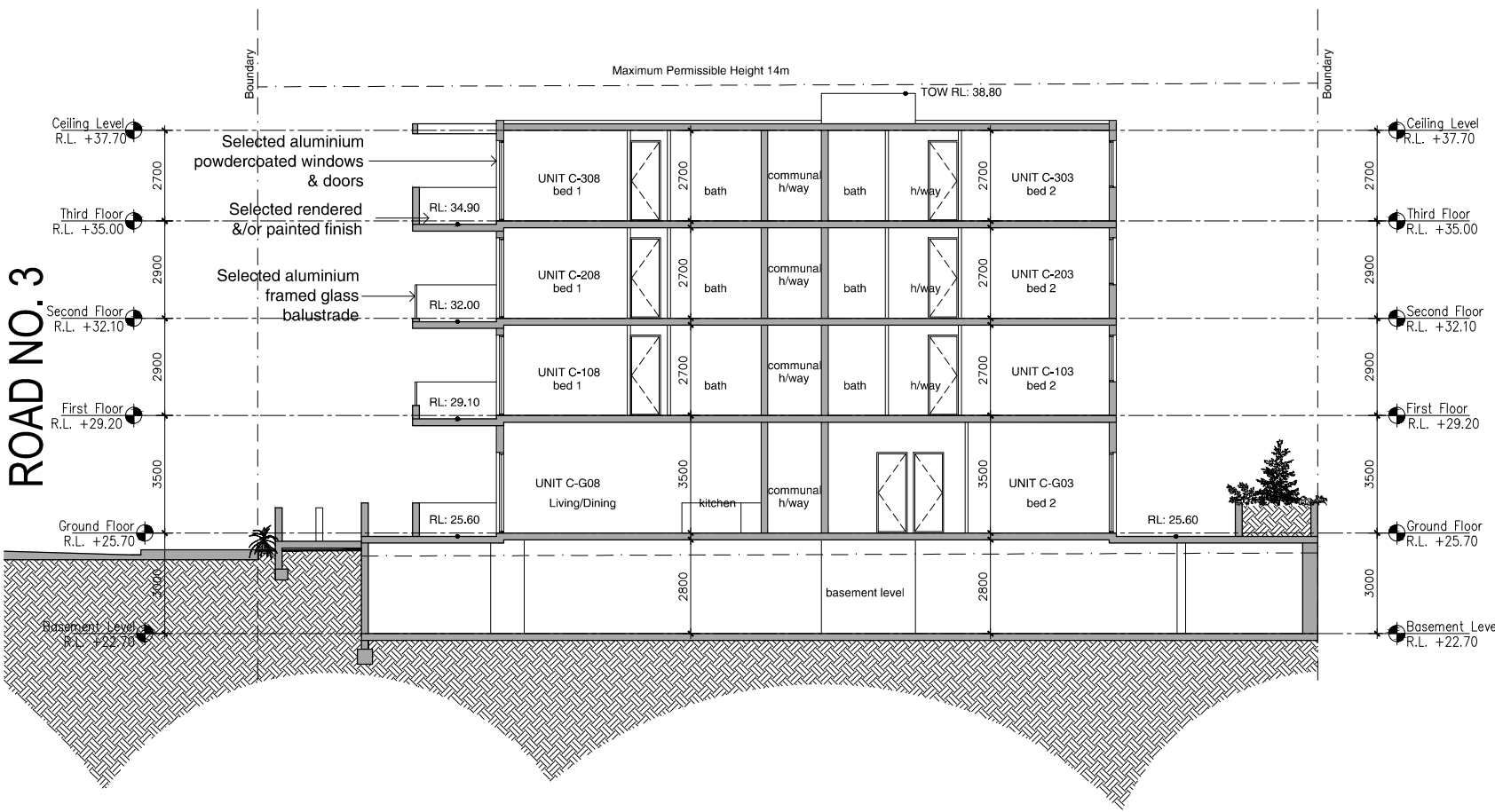
Building C- West Elevation (Stage 3)
Sc: 1:200 (on A1)



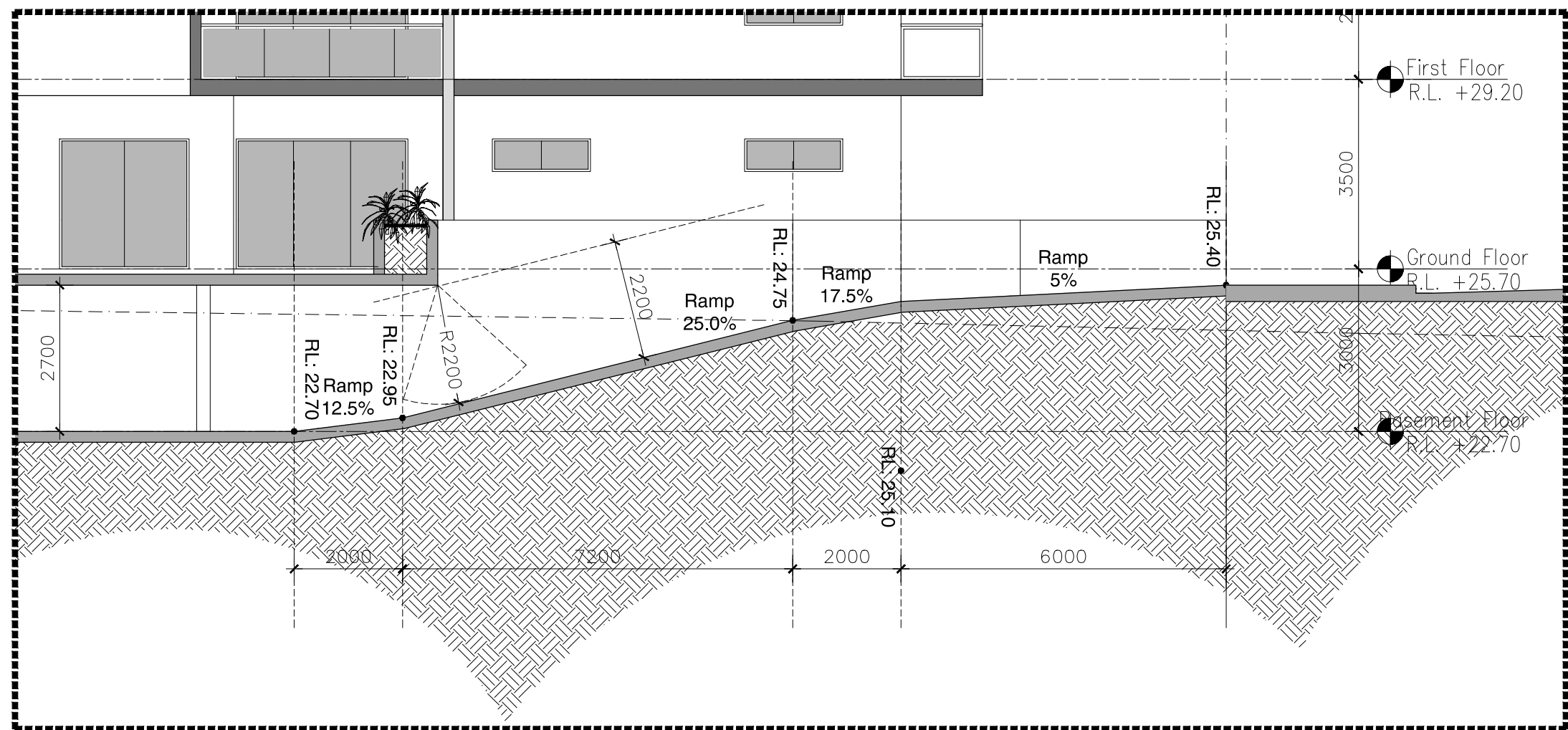
Building C- South Elevation (Stage 3)
Sc: 1:200 (on A1)



Building C- Section 2-2 (Stage 3)
Sc: 1:200 (on A1)

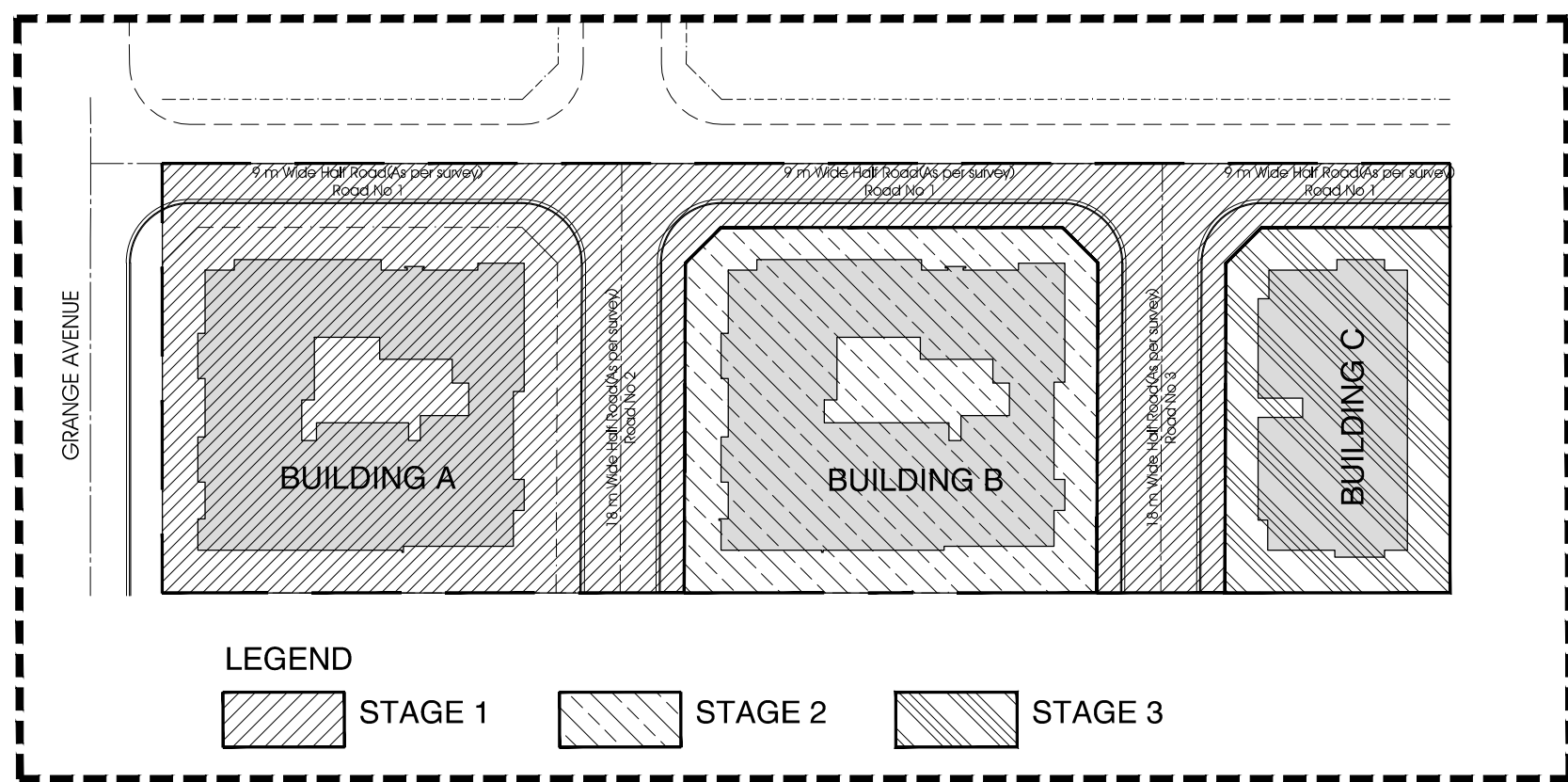


Building C- Section 1-1 (Stage 3)
Sc: 1:200 (on A1)



Building C- Driveway Section (Stage 3)
Sc: 1:100 (on A1)

KEY PLAN



- BASIX Commitments (Building A, B & C)**
- Water Commitments:**
- * **Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - * **Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:**
- * **Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
 - * **Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5-4.0 to the living areas of each dwelling.
 - * **Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof. Operation control: manual switch on/off.
 - * **Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.
- Common Areas**
- Water Commitments:**
- * **Fixtures** – Must install 3 Star rating taps.
- Energy Commitments:**
- * **Ventilation** – Must install ventilation in: Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - * **Lighting** – Must install lighting in: Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor
 - Lift car: light- emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - * **Other** – Must install gearless traction with VVVF motor for lift.

F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



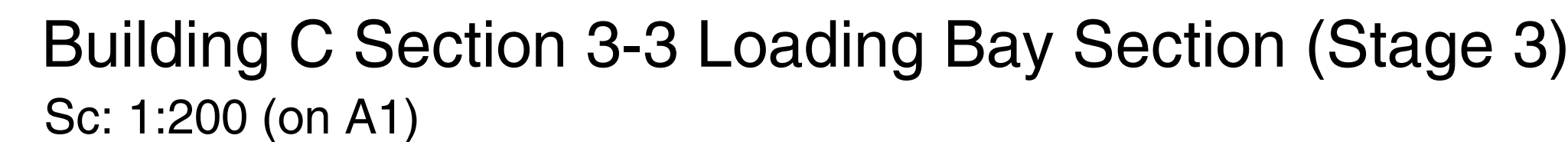
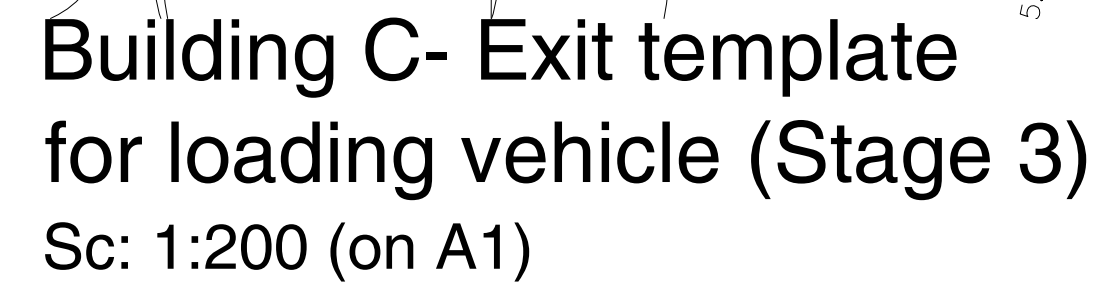
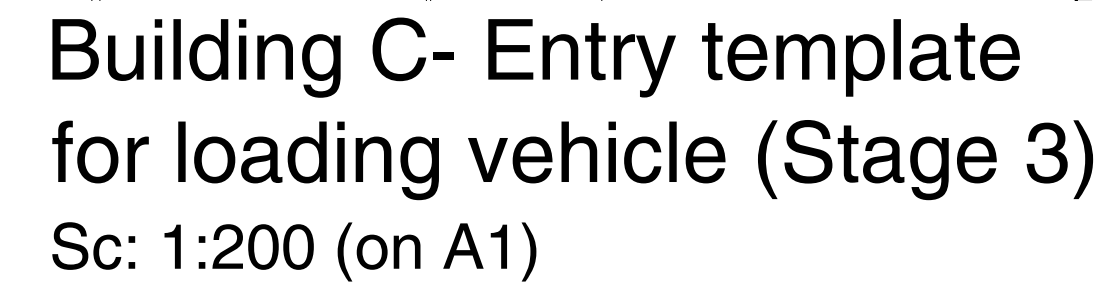
Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

SHEET TITLE:
ELEVATIONS/SECTIONS
BUILDING C-STAGE 3
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:233 AS MARKED (ON A1)
ISSUE:
G
SCALE:

- Garbage 240L bins will be collected by private contractor along the street (three times a week).
- Recycle 240L bins will be collected by private contractor along the street (twice a week).
- Strata Management will be responsible for managing Garbage bin collection days with private contractor.
- All bin storage area/temporary holding area will be secured to avoid illegal dumping.



F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CURBULE PTY LTD IS A REGISTERED COMPANY UNDER THE NS ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CURBULE PTY LTD.
COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#8842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
<http://www.designcubicle.com.au>
ABN: 47 116 316 333

SHEET TITLE:
HEAD CLEARNACE PLAN
& SECTION

LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN

CHECKED BY:
FG

DATE:
OCT 15

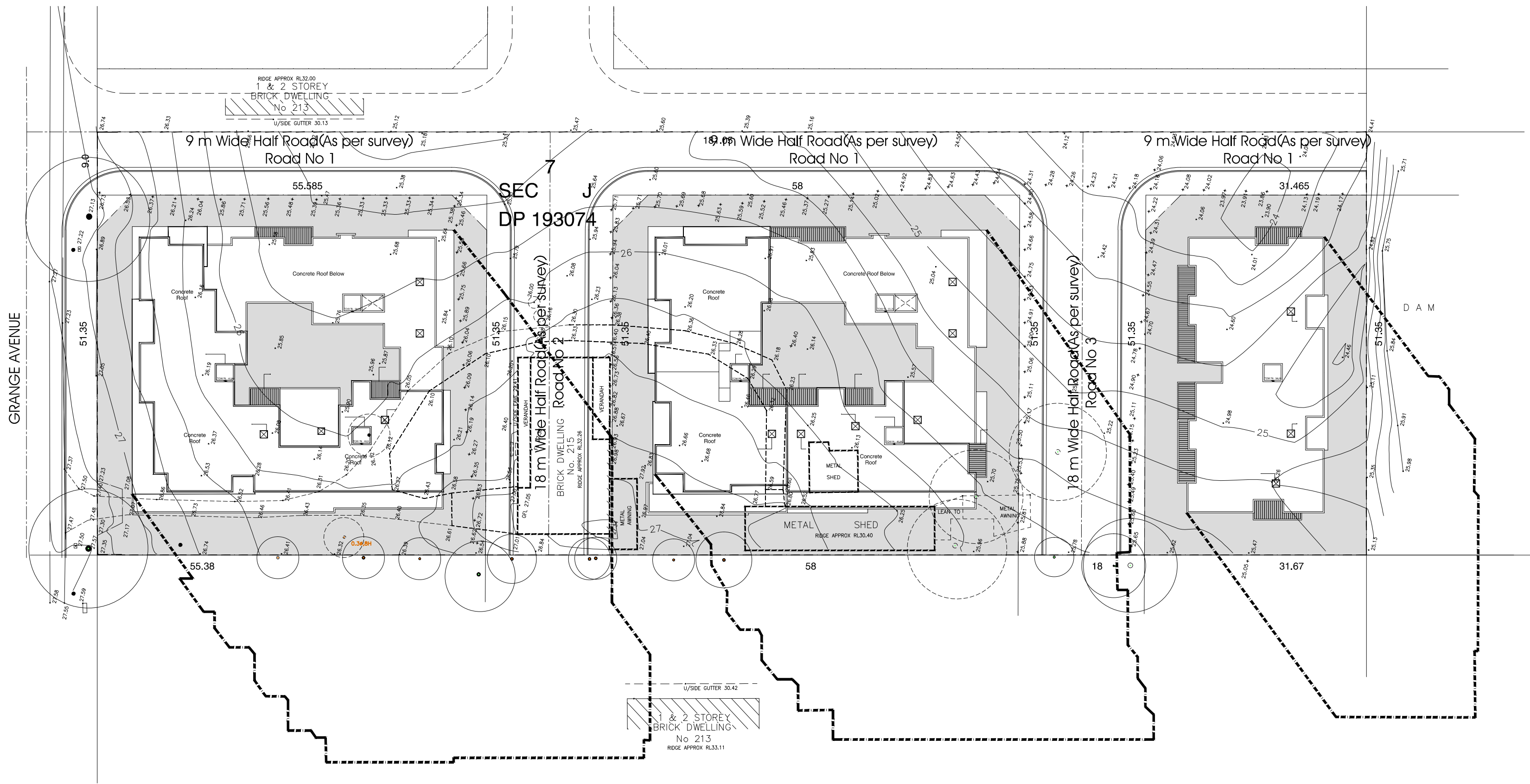
PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARSDEN PARK

JOB No.
150723 DA:234 AS MARKED (ON

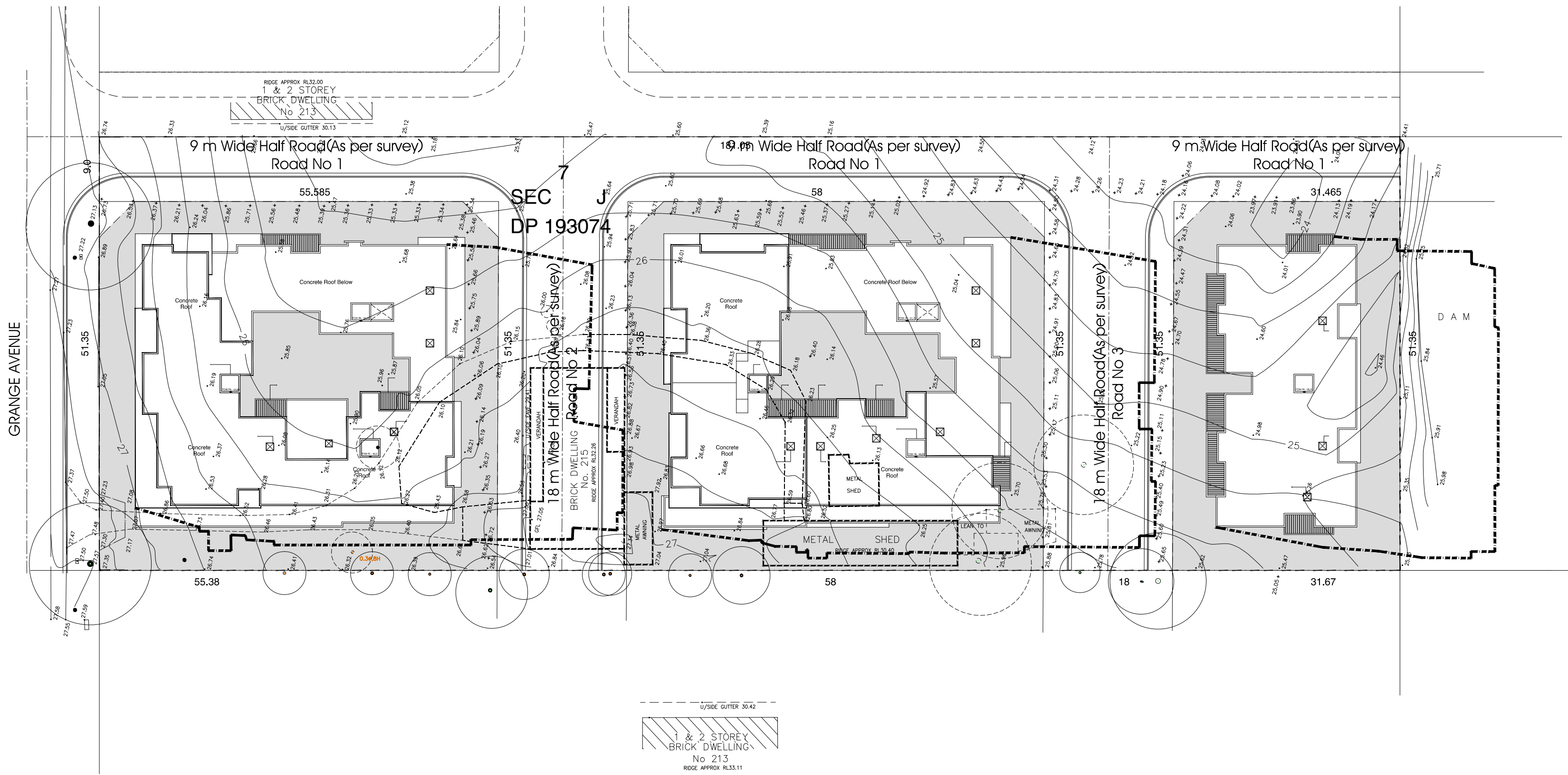
JE:

SALE:

LEGEND
----- Shadow cast by the Proposed Development

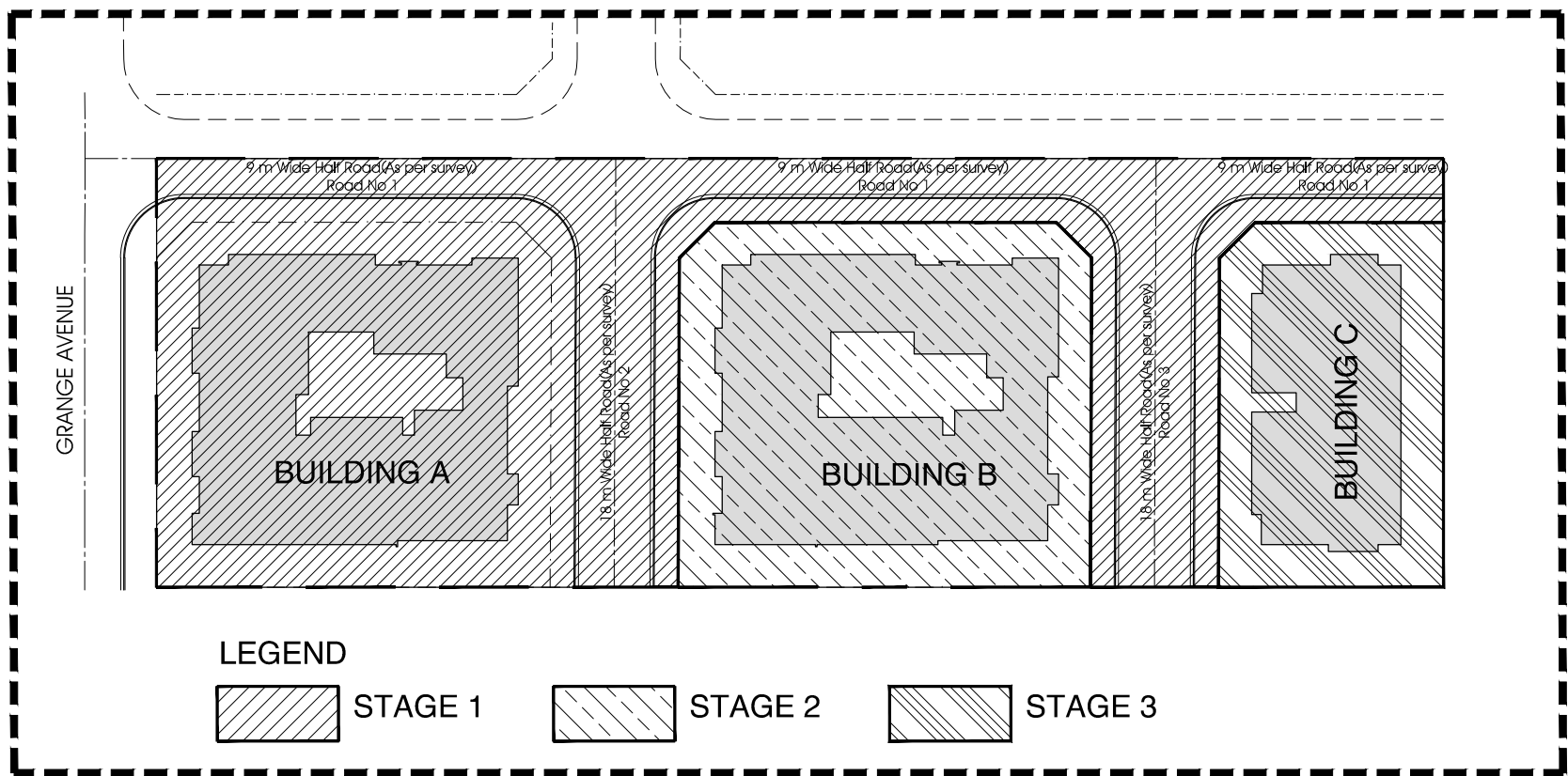


Shadow Diagram at 9.00 Am on 21 of Jun
Sc: 1:500 (on A1)



Shadow Diagram at 12.00 Pm on 21 of Jun
Sc: 1:500 (on A1)

KEY PLAN



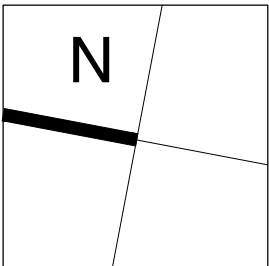
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	AW
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE: DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK, DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION. COPYRIGHT: INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

DESIGN CUBICLE PTY LTD
44 SORRELL STREET
NORTH PARAMATTA, NSW, 2151
TEL: 9683 2778 FAX: 9683 3242
EMAIL: info@designcubicle.com.au
HTTP: www.designcubicle.com.au
ABN: 47 116 316 333



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

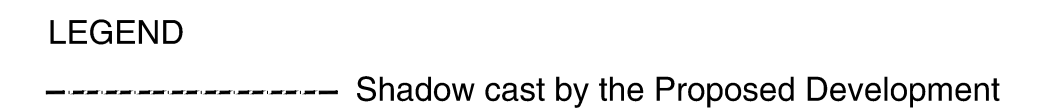


SHEET TITLE:
SHADOW DIAGRAMS 1/3
LOGGED AT: BLACKTOWN CITY COUNCIL

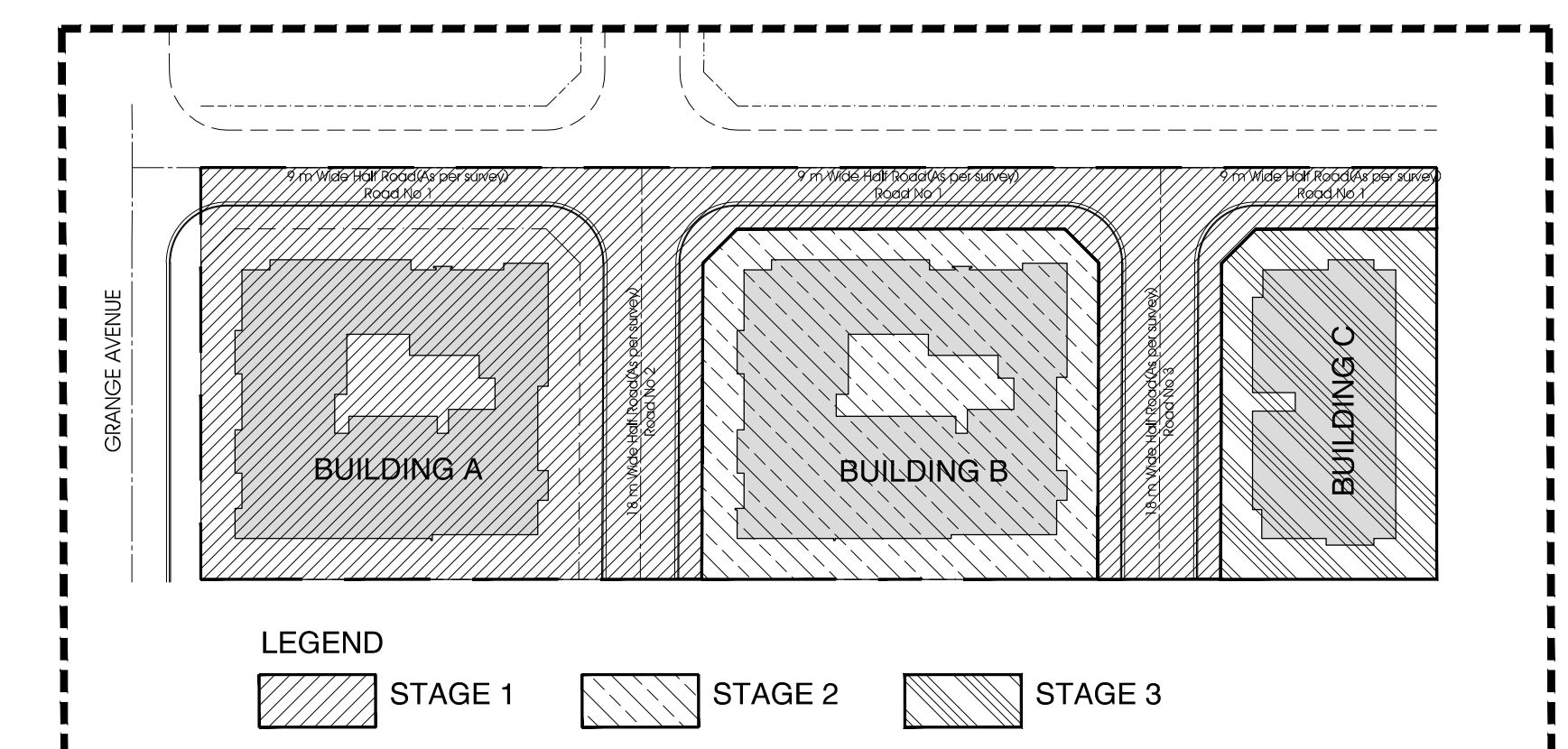
DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:271
ISSUE:
G
SCALE:
1:500 (ON A1)





Sc: 1:500 (on A1)



Sc: 1:500 (on A1)

F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.17	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD.
COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES



SHEET TITLE:
SHADOW DIAGRAMS 2/3

LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN

CHECKED BY:
FG

DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK

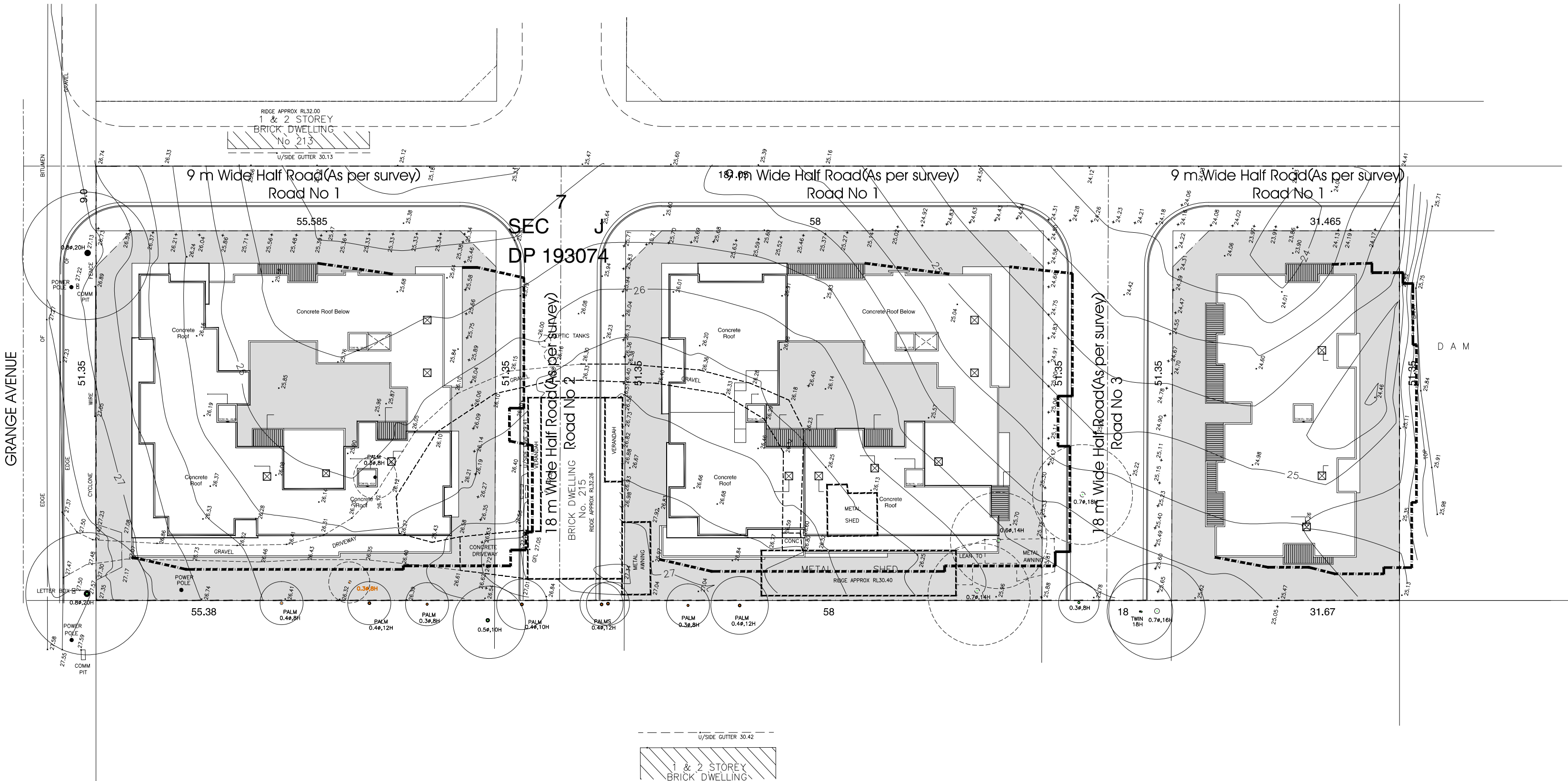
JOB No.
150723 DA:272

1:500 (ON

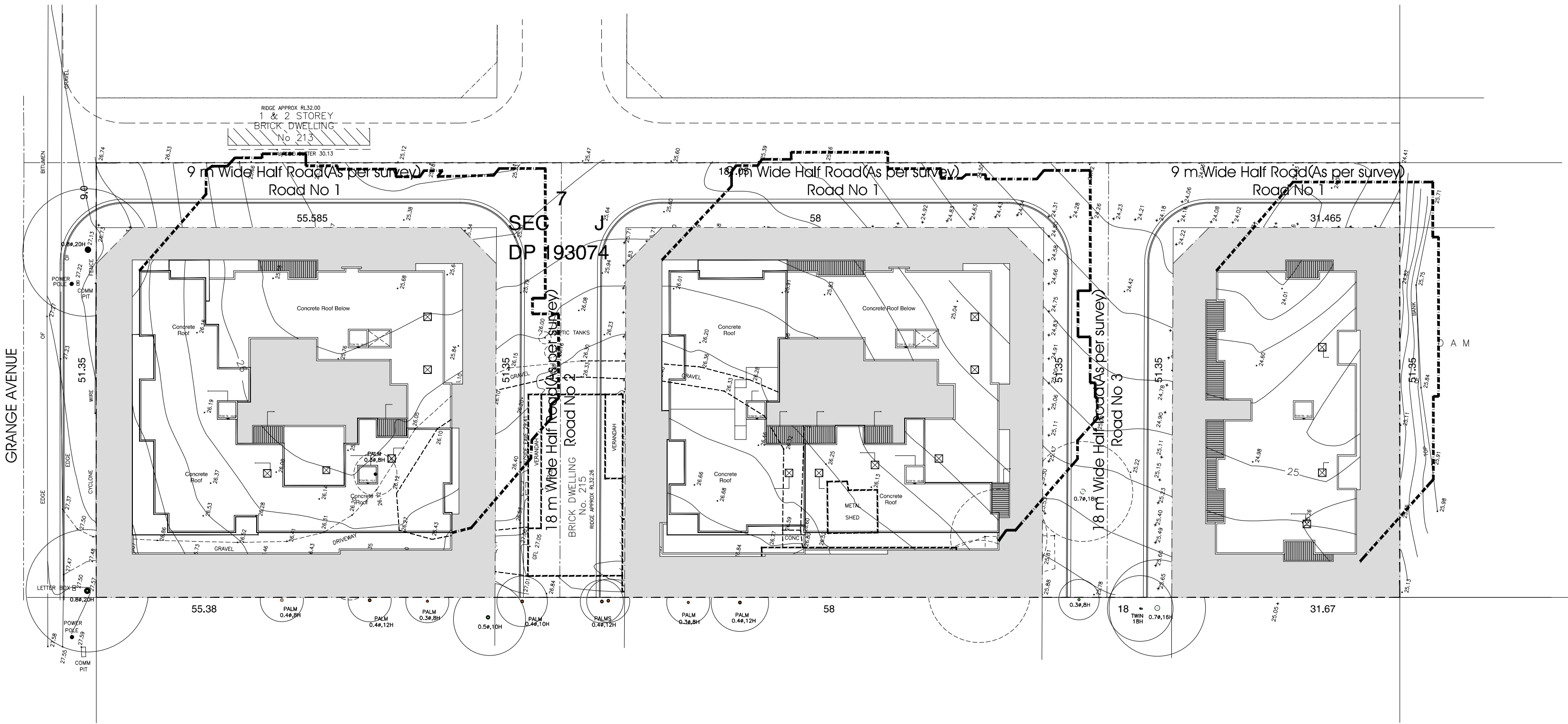
E:

E:

LEGEND
----- Shadow cast by the Proposed Development

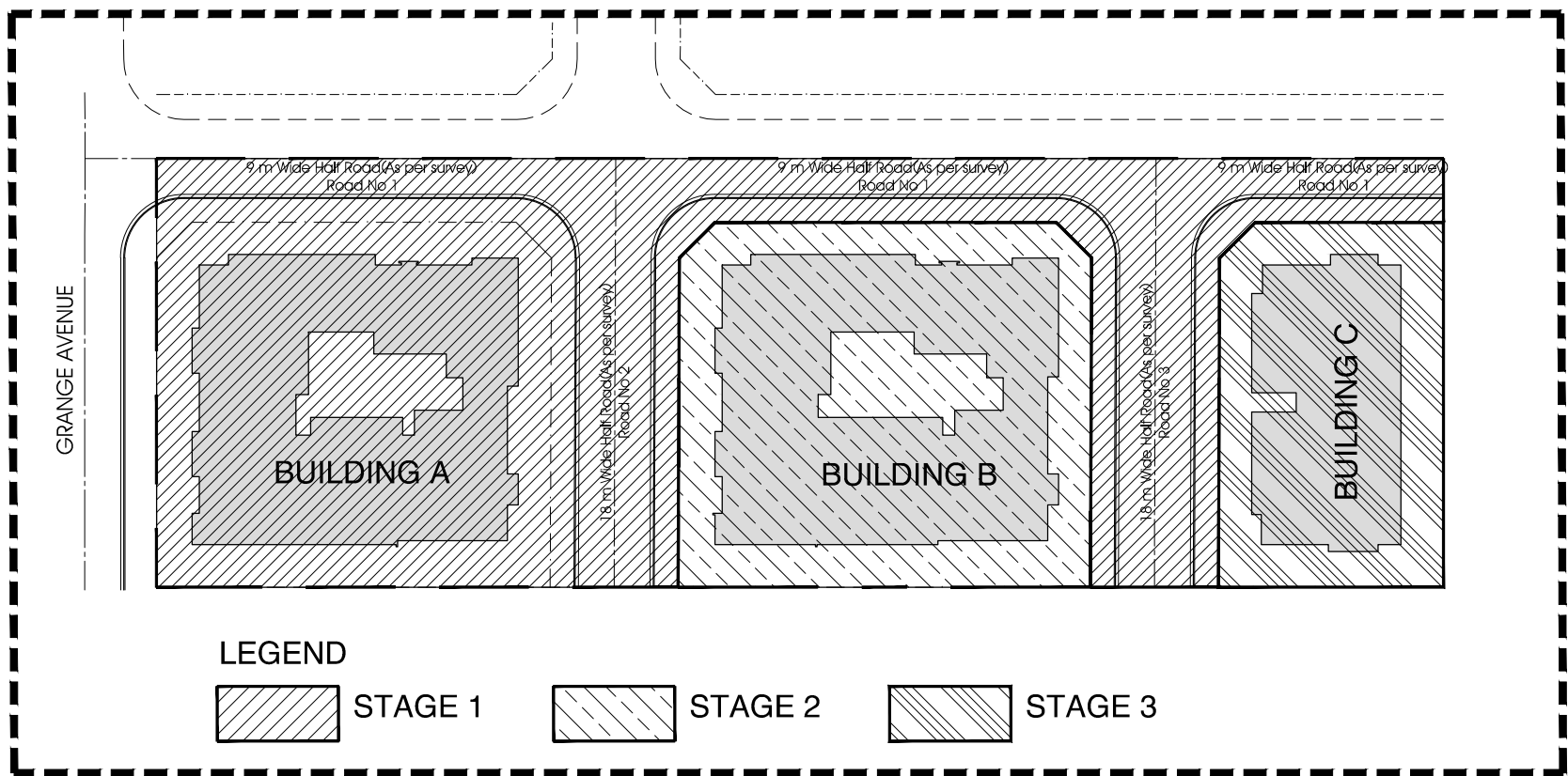


Shadow Diagram at 12.00 Pm on 21 of March
Sc: 1:500 (on A1)



Shadow Diagram at 3.00 Pm on 21 of March
Sc: 1:500 (on A1)

KEY PLAN



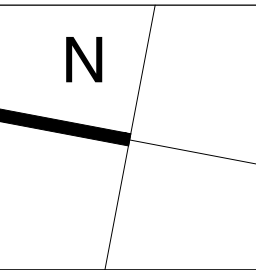
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADD REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Paramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

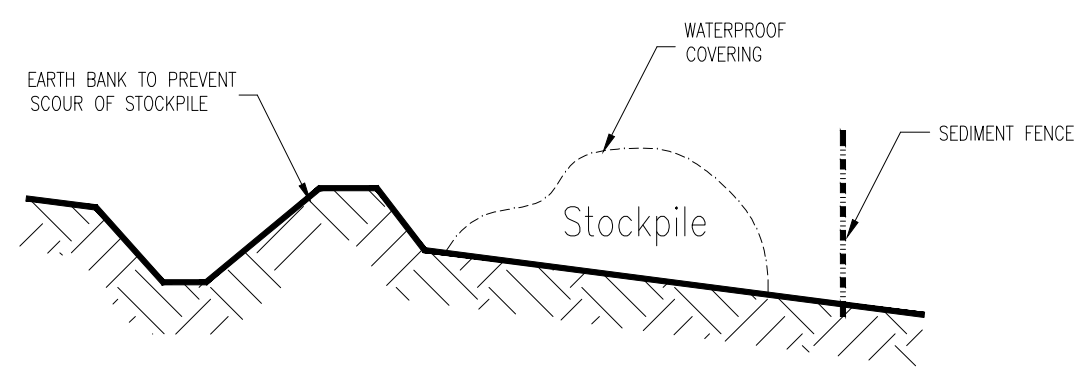


SHEET TITLE:
SHADOW DIAGRAMS 3/3
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA:273
1:500 (ON A1)

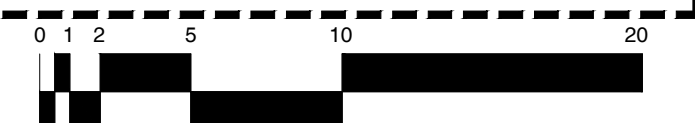
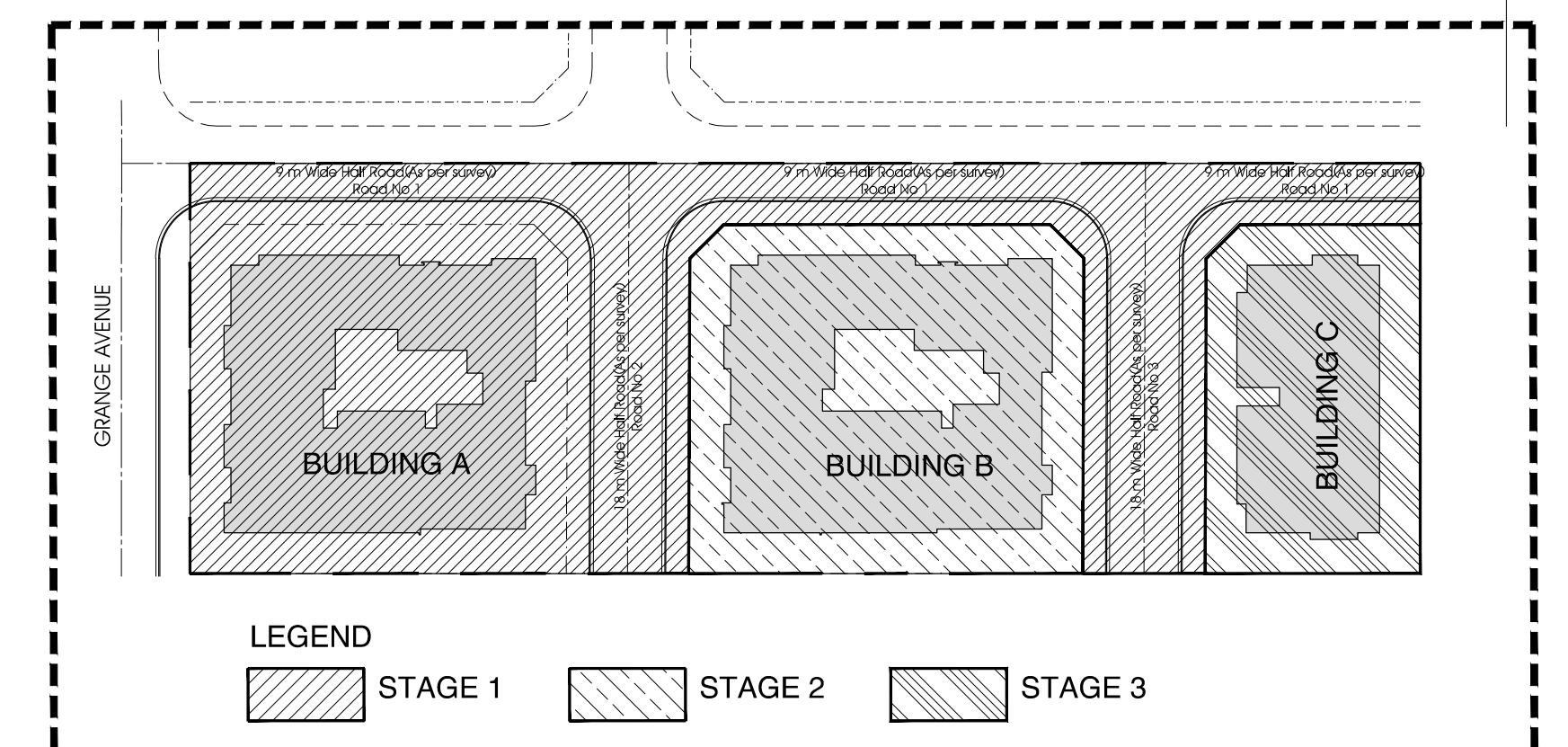
ISSUE:
G
SCALE:
1:500 (ON A1)



A cross-sectional diagram of a sediment fence. A vertical barrier made of 'WIRE OR STEEL MESH' is shown. To the left of the barrier, an arrow indicates the 'DIRECTION OF FLOW'. The area immediately behind the barrier is labeled 'DISTURBED AREA'. The area further back is labeled 'UNDISTURBED AREA'. A dimension line at the bottom left indicates a distance of '200 6000' (likely 200 to 6000 units) from the flow direction to the barrier.

sediment fence
N.T.S.

A cross-sectional diagram of a sediment fence. A vertical pipe on the left is labeled "SEDIMENT FENCE". A layer of material on top of the sediment is labeled "0.2mm POLYTHENE MEMBRANE". The sediment itself is shown as a mound with a "100mm Dip" indicated at its base. The ground on either side is represented by hatched lines.

[illegible]

design cubicle
ARCHITECTURAL SOLUTIONS

ISSUE:
G

SCALE:
A1)

Solar Access Unit = 53
Cross Flow Ventilation Unit = 47

Solar Access Unit = 55
Cross Flow Ventilation Unit = 44

Solar Access Unit = 25
Cross Flow Ventilation Unit = 17

BLOCK	A	B	C	TOTAL
Solar Access	53	55	25	133 (78.6%)
Cross Flow Ventilation	47	44	17	108 (63.9%)



design cubicle
ARCHITECTURAL SOLUTIONS

SHEET TITLE:
**SOLAR ACCESS
& CROSS VENTILATION SCHEDULE**

LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN

CHECKED BY:
FG

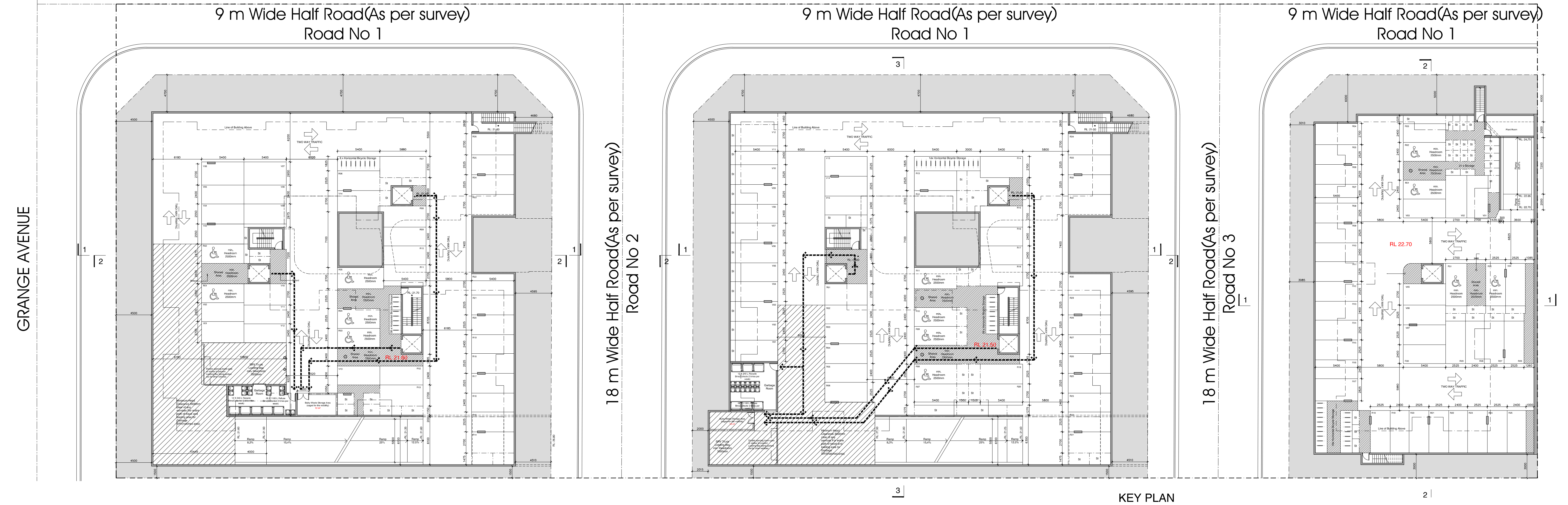
DATE:
OCT 15

JOB NO.
150723 DA: 300

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK

ISSUE:
G

SCALE:
A1)

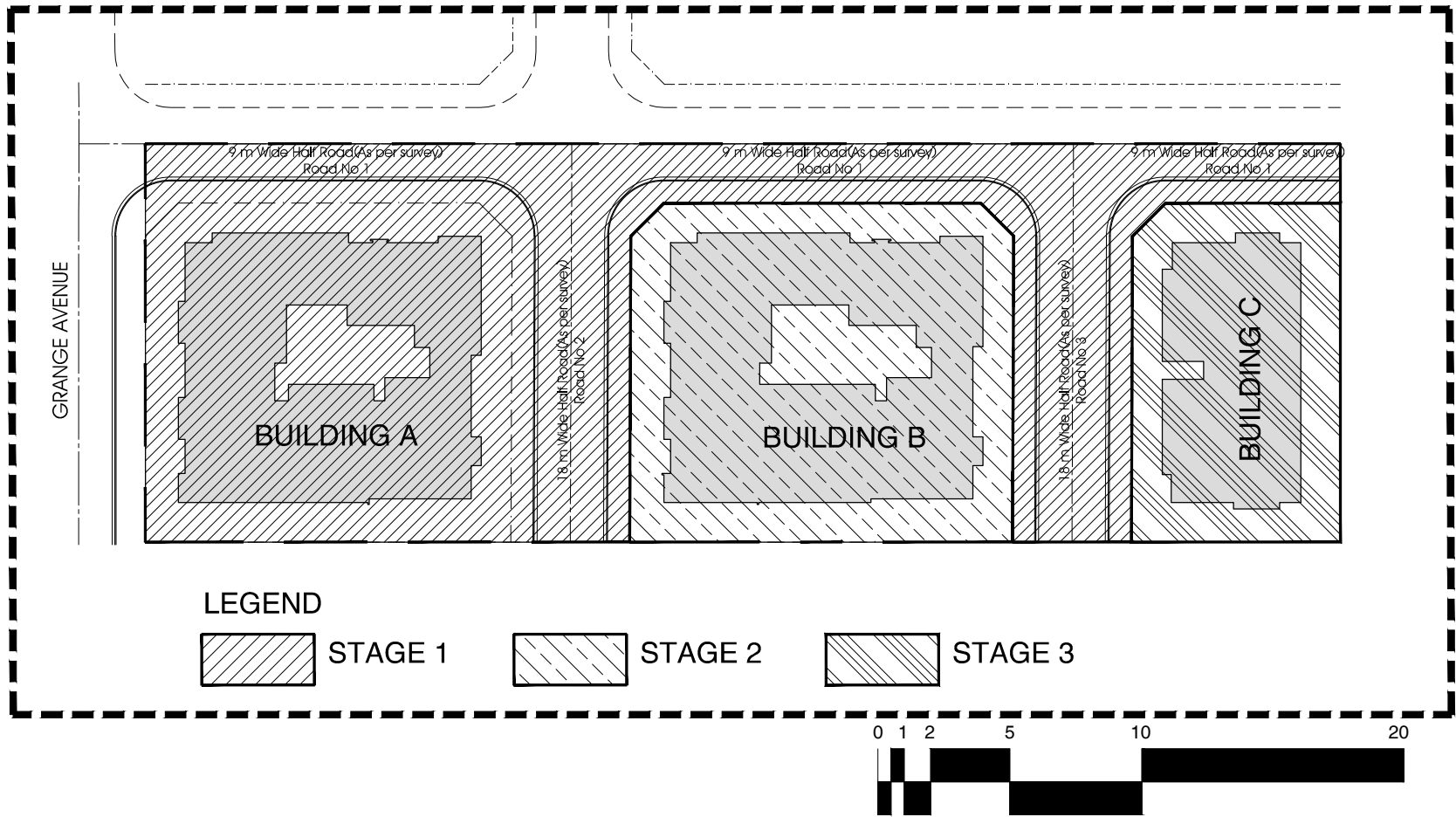


Pedestrian Movement Plan (Block A & B)
Sc: 1:250 (on A1)

- BASIX Commitments (Building A, B & C)**
Water Commitments:
*Planting – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
*Fixtures – Must install 3 Star rating showerheads in all showers, (>4.5 but <=6L/min).
– Must install 3 Star rating toilet flushing system in each toilet.
– Must install 3 Star rating taps in each kitchen.
– Must install 3 Star rating taps in each bathroom.
– Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:
*Hotwater – Must install a gas instantaneous 5 Star system for each dwelling.
*Cooling/ Heating System – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
*Ventilation – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
- *Other – Must install gas cooktop and electric oven in the kitchen of all dwellings.
– Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
– Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
– Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

- Common Areas**
Water Commitments:
*Fixtures – Must install 3 Star rating taps.
- Energy Commitments:
*Ventilation – Must install ventilation in:
Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
*Lighting – Must install lighting in:
Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
Lift car: light-emitting diode; Efficiency measure: connected to lift call button.
Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
Garbage room: compact fluorescent; Efficiency measure: motion sensor.
Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
- *Other – Must install gearless traction with VV F motor for lift.

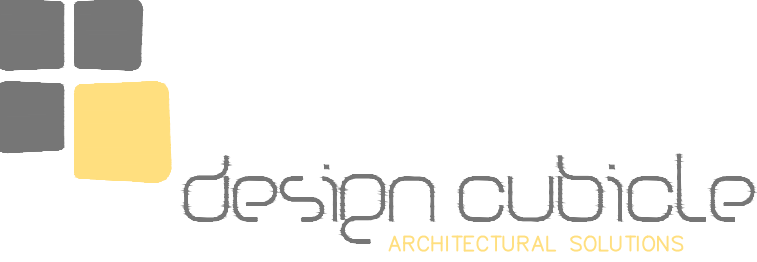
KEY PLAN



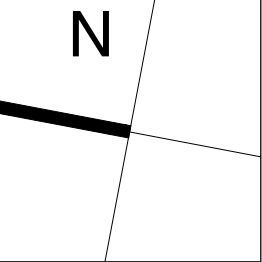
F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE: DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DOOR AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION. COPYRIGHT: INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.

DESIGN CUBICLE PTY LTD
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333



DESIGN CUBICLE PTY LTD
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333

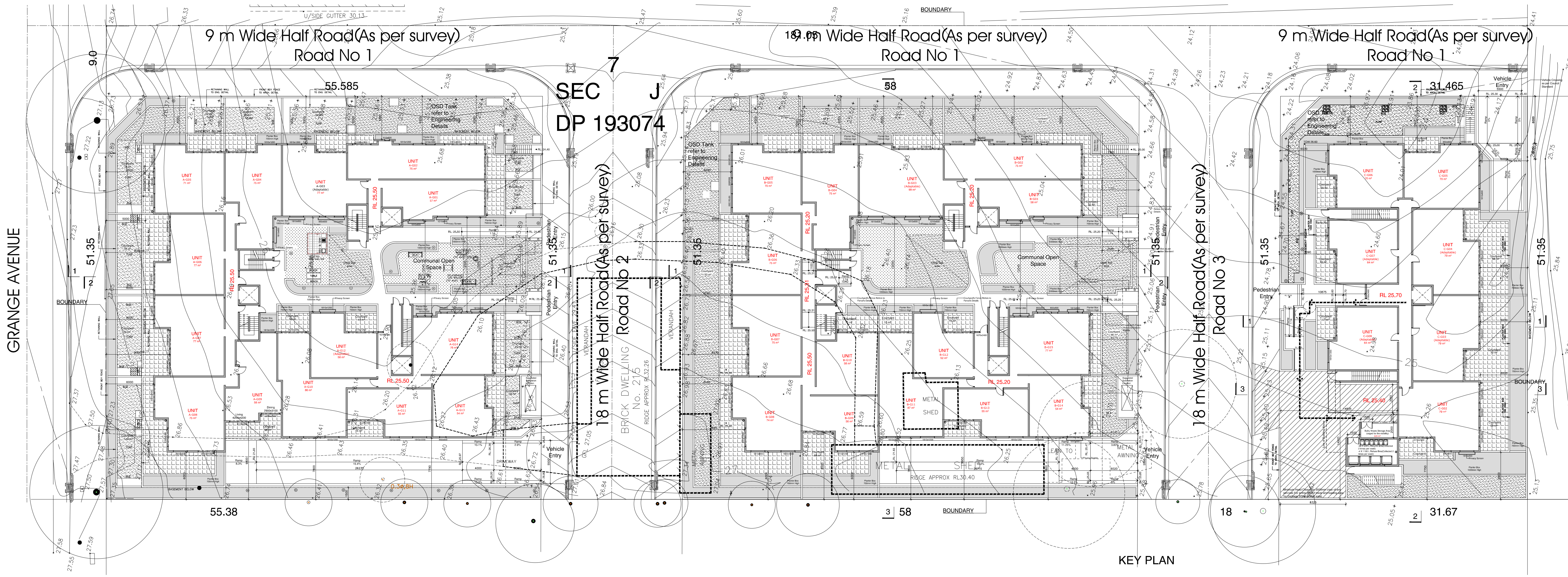


SHEET TITLE:
PEDESTRIAN MOVEMENT PLAN
LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN
CHECKED BY:
FG
DATE:
OCT 15

PROPOSED RESIDENTIAL
DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK
JOB No.
150723 DA: 400
SCALE:
1:250 (ON A1)

ISSUE:
G



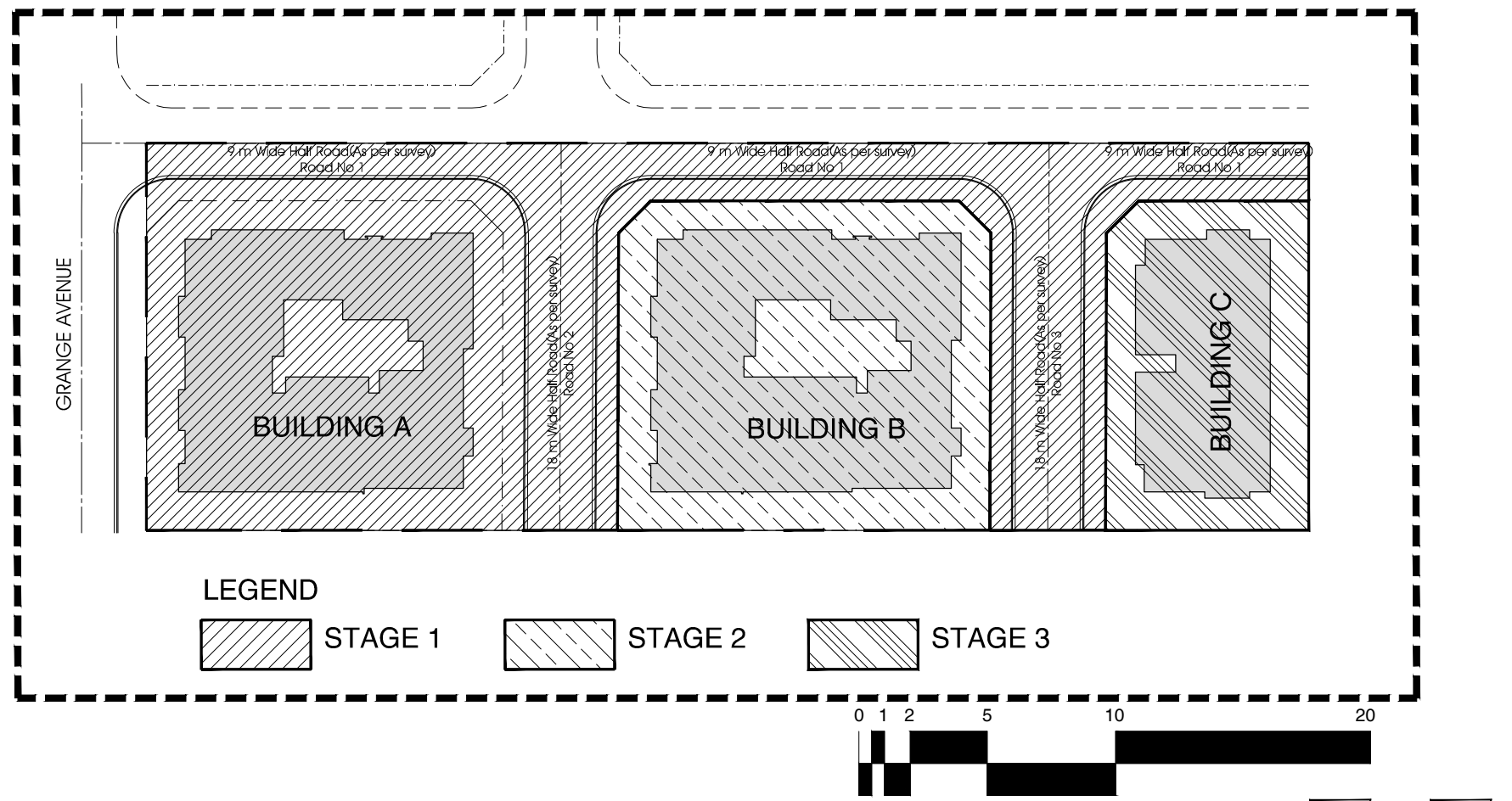
Pedestrian Movement Plan (Block C)

Sc: 1:250 (on A1)

- BASIX Commitments (Building A, B & C)**
- Water Commitments:**
- * **Planting** – Must plant indigenous or low water use species of vegetation throughout the area of land specified.
 - * **Fixtures** – Must install 3 Star rating showerheads in all showers. (>4.5 but <=6L/min).
 - Must install 3 Star rating toilet flushing system in each toilet.
 - Must install 3 Star rating taps in each kitchen.
 - Must install 3 Star rating taps in each bathroom.
 - Must install 3 Star rating dish washer in each bathroom.
- Energy Commitments:**
- * **Hotwater** – Must install a gas instantaneous 5 Star system for each dwelling.
 - * **Cooling/ Heating System** – Must install 1-phase airconditioning EER 3.5–4.0 to the living areas of each dwelling.
 - * **Ventilation** – Must install ventilation systems to each Bathroom, Kitchen and Laundry of each dwelling individual fan, ducted to facade or roof; Operation control: manual switch on/off.
 - * **Other** – Must install gas cooktop and electric oven in the kitchen of all dwellings.
 - Must install 3 star energy rated dishwasher in the kitchen of all dwellings.
 - Must install 2 star energy rated clothes dryer in the Laundry of all dwellings.
 - Must provide well ventilated fridge space and indoor clothes drying line in each dwelling.

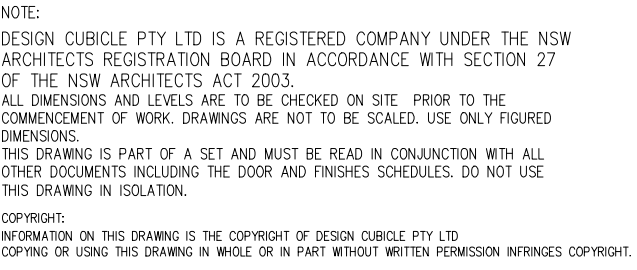
- Common Areas**
- Water Commitments:**
- * **Fixtures** – Must install 3 Star rating taps.
- Energy Commitments:**
- * **Ventilation** – Must install ventilation in:
 - Car park: Ventilation Exhaust only; Efficiency measure: Carbon monoxide monitor + 2-speed fan
 - * **Lighting** – Must install lighting in:
 - Car park: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - Lift car: light- emitting diode; Efficiency measure: connected to lift call button.
 - Lift motor room: compact fluorescent; Efficiency measure: manual on / manual off.
 - Garbage room: compact fluorescent; Efficiency measure: motion sensor.
 - Ground floor lobby and Hallways/lobbies: compact fluorescent; Efficiency measure: daylight sensor and motion sensor.
 - * **Other** – Must install gearless traction with VVVF motor for lift.

KEY PLAN



F	REVISED AS PER COUNCIL EMAIL DATED 15.02.2017	16.02.2017	NK
E	REVISED AS PER COUNCIL EMAIL DATED 09.01.2017	23.01.2017	YP
D	AMENDED AS PER COUNCIL LETTER DATED 18.11.2016	09.12.16	YP
C	AMENDED AS PER COUNCIL LETTER DATED 19.08.2016	18.10.16	AW
B	AMENDED AS PER COUNCIL LETTER DATED 27.07.2016	09.08.16	YP
G	MASTER BEDROOM SIZES FOR FEW UNITS REVISED TO COMPLY WITH ADG REQUIREMENTS	26.07.17	YP
ISSUE	AMENDMENT	DATE	DRAWN

NOTE:
DESIGN CUBICLE PTY LTD IS A REGISTERED COMPANY UNDER THE NSW ARCHITECTS REGISTRATION BOARD IN ACCORDANCE WITH SECTION 27 OF THE NSW ARCHITECTS ACT 2003.
ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE. PRIOR TO THE COMMENCEMENT OF WORK. DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS.
THIS DRAWING IS PART OF A SET AND MUST BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS INCLUDING THE DEED AND FINISHES SCHEDULES. DO NOT USE THIS DRAWING IN ISOLATION.
COPYRIGHT:
INFORMATION ON THIS DRAWING IS THE COPYRIGHT OF DESIGN CUBICLE PTY LTD. COPYING OR USING THIS DRAWING IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION INFRINGES COPYRIGHT.



Design Cubicle Pty Ltd
Nominated Architect: Sam Min-Han Lu (#6842)
Address: 44 Sorrell Street,
North Parramatta, NSW, 2151
Tel: 9683 2778 Fax: 9683 3242
Email: info@designcubicle.com.au
Http: www.designcubicle.com.au
ABN: 47 116 316 333



SHEET TITLE:
PEDESTRIAN MOVEMENT PLAN

LOGGED AT: BLACKTOWN CITY COUNCIL

DRAWN BY:
YP/DN

CHECKED BY:
FG

DATE:
OCT 15

PROPOSED RESIDENTIAL DEVELOPMENT
AT 215 GRANGE AVENUE, MARDSEN PARK

JOB No:
150723 DA: 401

ISSUE:
G

SCALE:
1: 250 (ON A1)